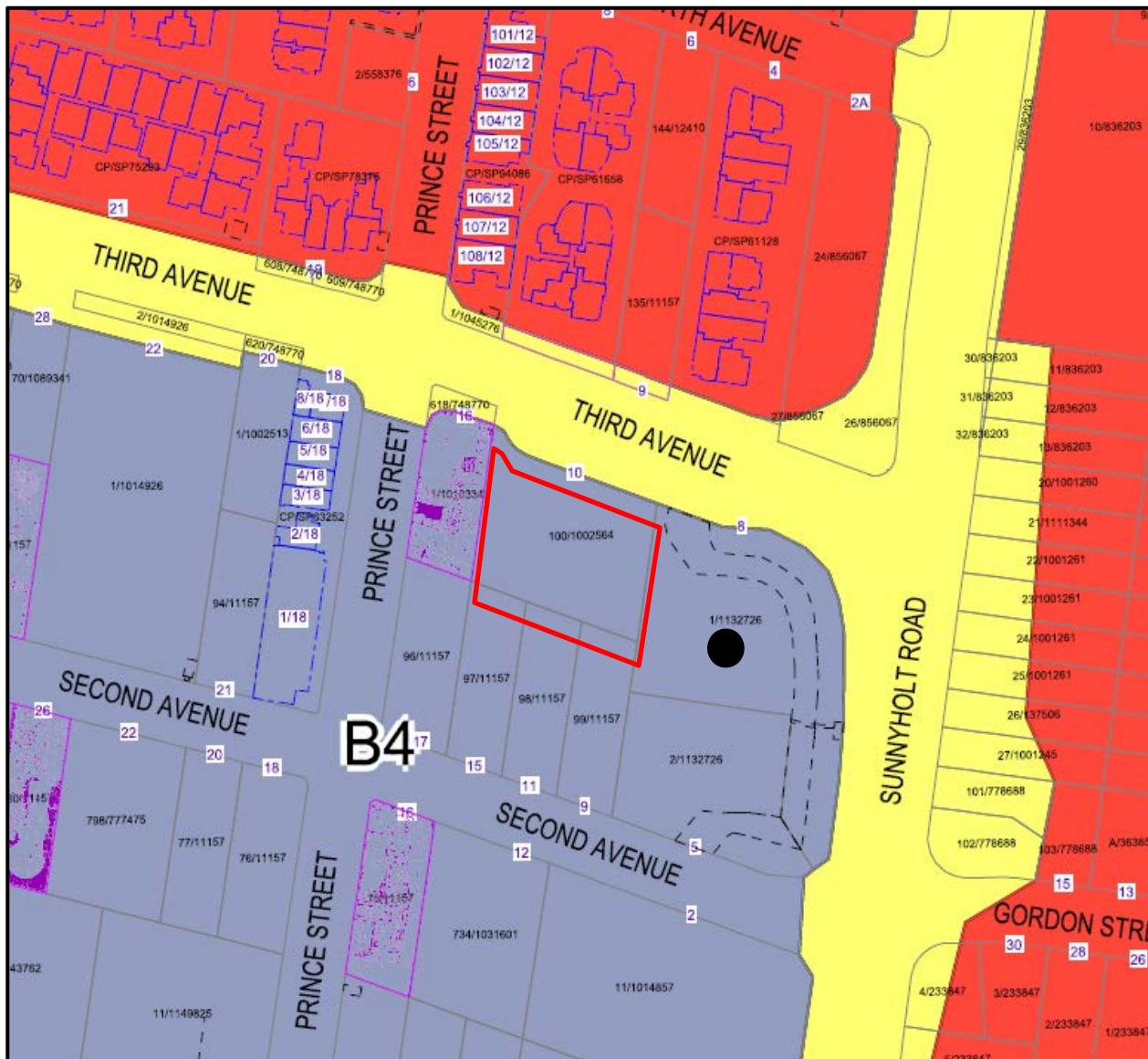


Location map

## Zoning extract



### LEGEND Zone

<b>B1</b> Neighbourhood Centre	<b>IN2</b> Light Industrial
<b>B2</b> Local Centre	<b>R1</b> General Residential
<b>B4</b> Mixed Use	<b>R2</b> Low Density Residential
<b>B5</b> Business Development	<b>R3</b> Medium Density Residential
<b>B6</b> Enterprise Corridor	<b>R4</b> High Density Residential
<b>B7</b> Business Park	<b>RE1</b> Public Recreation
<b>E2</b> Environmental Conservation	<b>RE2</b> Private Recreation
<b>E3</b> Environmental Management	<b>RU6</b> Transition
<b>E4</b> Environmental Living	<b>SP2</b> Infrastructure
<b>IN1</b> General Industrial	

● Location of object





Aerial image as of 18 January 2018

## Detailed information about proposal and DA submission material

---

### 1 The proposal

- 1.1 The Development Application (DA) has been lodged by 5 Units Pty Ltd for the demolition of an existing commercial building and construction of an 18 storey shop top housing development comprising ground floor retail, a child care centre on the first floor and 16 levels of residential apartments above.
- 1.2 The ground floor comprises a single retail/business space that has an area of 609 sqm. Direct access from the street is provided, with rear access to the basement, toilet facilities and waste areas.
- 1.3 The first floor comprises a child care centre. The child care centre will provide for 155 children aged between 0 and 5, with 25 staff members. The proposal provides for 8 separate playrooms and 1,188 sqm of outdoor play area. The proposed first floor unencumbered internal floor area is 517 sqm. An entry foyer provides access to the child care centre from the street and basement car parking via stairs and 2 lifts. The proposed hours of operation for the child care centre are Monday to Friday, 6.30 am to 6.30 pm.
- 1.4 Levels 2 to 17 consist of 143 apartments. The apartment mix is 26 x 1 bedroom units (18.18 %), 101 x 2 bedroom units (70.6%) and 16 x 3 bedroom units (11.2%).
- 1.5 A loading area for a heavy rigid vehicle is provided in the basement adjacent to the garbage bin room, for the use of waste services trucks and residents.
- 1.6 All apartments are provided with a balcony, compliant with the minimum dimensions under the Apartment Design Guide.
- 1.7 The development is serviced with 2 communal open space areas, with a total area of 957 sqm. Common open space is provided on the 2<sup>nd</sup> floor at podium level and is embellished with planting, benches and paving. A second common open space is provided on the rooftop and is embellished with pergola structures, landscaping including trees and turf areas. The development is also serviced with a communal drying area and a productive garden space to enable residents to grow their own food. BBQs, tables and seating areas are also provided.
- 1.8 Landscaping plans indicate a selection of trees, shrubs and groundcovers, including Australian native plants. Turfed areas as well as on-structure planting have been proposed to optimise use of these areas.
- 1.9 The application states that 15 (10%) apartments are adaptable.
- 1.10 The applicant has submitted a Traffic Impact Assessment prepared by Thompson Standbury and Associates. The report assesses the adequacy of the proposed off-street parking provision, the suitability of the proposed vehicular arrangements, the proposed parking layout, and examines the existing transport conditions in the vicinity of the site, including the existing traffic network. The report indicates that the additional traffic generated is not expected to have a significant adverse traffic impact on the road network in the local area. The parking provision for the proposal is assessed in attachment 6 of this report.
- 1.11 The applicant has submitted an acoustic assessment for the proposal. It assesses traffic noise from the surrounding public roads and the noise emission criteria of mechanical plant to surrounding properties, as well as the impact of surrounding commercial uses such as the 24 hour McDonald's operation and the proposed child care centre on the residential units above. The assessment recommended acoustic treatment measures such as glazing and finishes. External noise emission criteria can be met with detailed acoustic treatment at the Construction Certificate stage.



# ALGORRY ZAPPIA & ASSOCIATES

PTY. LTD.

Attachment 5

ABN 43 064 952 692

Building Designers & Consulting Civil & Structural Engineers

## PROPOSED MIXED USE DEVELOPMENT

Lot 100 in DP1002564 No. 10-14 THIRD AVE  
BLACKTOWN

FIVE UNIT PTY/ LTD

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170  
P.O. Box 825, Liverpool Business Centre, NSW 1871  
t 9602 3133 / 9602 0303 f 9601 6903  
e admin@algorryzappia.com.au



### SHEET INDEX

Sheet Index CD	
S 12	Layout
A100	COVER PAGE
A101	DEMOLITION PLAN
A102	LOCATION PLAN
A103	CONTEXT PLAN
A104	SITE ANALYSIS
A105	PROJECT DATA
A106	PROJECT DATA
A107	PRECEDENTS
A201	-5 BASEMENT PLAN
A202	-4 BASEMENT PLAN
A203	-3 BASEMENT PLAN
A204	-2 BASEMENT PLAN
A205	-1 BASEMENT PLAN
A206	GROUND FLOOR PLAN
A207	FIRST FLOOR PLAN
A208	2nd FLOOR PLAN
A209	3rd FLOOR PLAN
A210	4th FLOOR PLAN
A211	5th FLOOR PLAN
A212	6th FLOOR PLAN
A213	7th FLOOR PLAN
A214	8th FLOOR PLAN
A215	9th FLOOR PLAN
A216	10th FLOOR PLAN
A217	11th FLOOR PLAN
A218	12th FLOOR PLAN
A219	13th FLOOR PLAN
A220	14th FLOOR PLAN
A221	15th FLOOR PLAN
A222	16th FLOOR PLAN
A223	17th FLOOR PLAN
A224	ROOF PLAN
A301	SOUTH ELEVATION
A302	WEST ELEVATION
A303	EAST ELEVATION
A304	NORTH ELEVATION
A401	SECTION A-A & D-D
A402	SECTION B-B & C-C
A501	EXTERNAL MATERIALS
A502	ACCESSIBLE UNIT LAYOUT
A503	CROSS VENTRATION ANAL...
A504	SOLAR ANALYSIS
A505	SHADOW DIAGRAMS
A506	SHADOW DIAGRAM
A507	SHADOW DIAGRAM
A508	GFA DIAGRAMS
A509	HEIGHT PLANE VIEWS
A510	COMMUNAL OPEN SPACEA
A511	SMEPT PATH PLANS

Rev	Description	Date
A	FOR D.A.	26.08.2016
B	AMENDED FOR D.A.	18.01.2017
C	AMENDED FOR D.A.	01.05.2017

Drawn	Checked	Project #
N Z	CZ	P 4474
As Built By	As B	Scale
DA	1363-15	C

## AVENUE



- 3 BOGGY TRUCKS
- 2 EXCAVATORS
- 1 CRANE
- 1 BOBCAT

- INTERNAL MANUAL DEMOLITION
- REMAINDER TO BE TAKEN DOWN BY EXCAVATOR / CRANE & BOGCAT LOADED ON TO TRUCKS AND TAKEN TO TP / RECYCLING STATIONS
- ANY ASBESTOS MATERIALS TO BE WET DOWN BAGGED AND PLACED IN APPROPRIATE BINS

- APPROX. 8 - 12 DAYS

• TO BE ADVISED AT LATER STAGE WHEN APPOINTED

 EXISTING STRUCTURE  
TO BE REMOVED

- APPROX. LOCATION OF EXISTING TREES TO REMAIN
- EXISTING BODILY FENCES TO REMAIN & SECURED WHERE REQUIRED
- TEMPORARY CHAINWIRE FENCE WITH SCREENING FABRIC
- APPROX. LOCATION OF EXISTING TREES TO BE REMOVED

**DEMOLITION PLAN**  
Scale 1:200

NA	Example	Date	Order	Key
A	FORDA	2006-2016	HZ	CZ
B	AMENDED FORDA	14-01-2017	NZ	CZ

- 1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the design team;
- 2) Layout shown on approved plans is to be accompanied by reduced levels;
- 3) Figure dimensions must be taken in preference to scaling;
- 4) All boundary clearances must be verified by the surveyor prior to commencement of any building work;
- 5) Where engineering drawings are required such must take preference to the design;
- 6) Structures are to be designed to Council's requirements and AS 3100.3-1989;
- 7) All services are to be located and verified by the Builder such relevant authorities before any building work commences.

**COPYRIGHT**  
This design and the associated ~~document~~ is subject to copyright laws and may not be reproduced in any form without written consent from Abney Zepco & Associates Pty Ltd.



**villa + villa**  
architettura interior design

*J. Biol. Chem.* 267:1098-1104, 1992.  
© 1992 by American Society for Biochemistry and Molecular Biology  
Printed in the USA

**ALGORRY ZAPPIA & ASSOCIATES** P.V. LTD.  
Building Designers & Consulting Civil & Structural Engineers

- o Suite 4, Level 3, 84 Bichuni Street, Liverpool NSW 1571  
P.O. box 885, Liverpool Business Centre, NSW 1571  
t 9509 3333 / 9509 0303 f 9509 6903  
e [don@23syntrapsa.com.au](mailto:don@23syntrapsa.com.au)  
w [www.23syntrapsa.com.au](http://www.23syntrapsa.com.au)

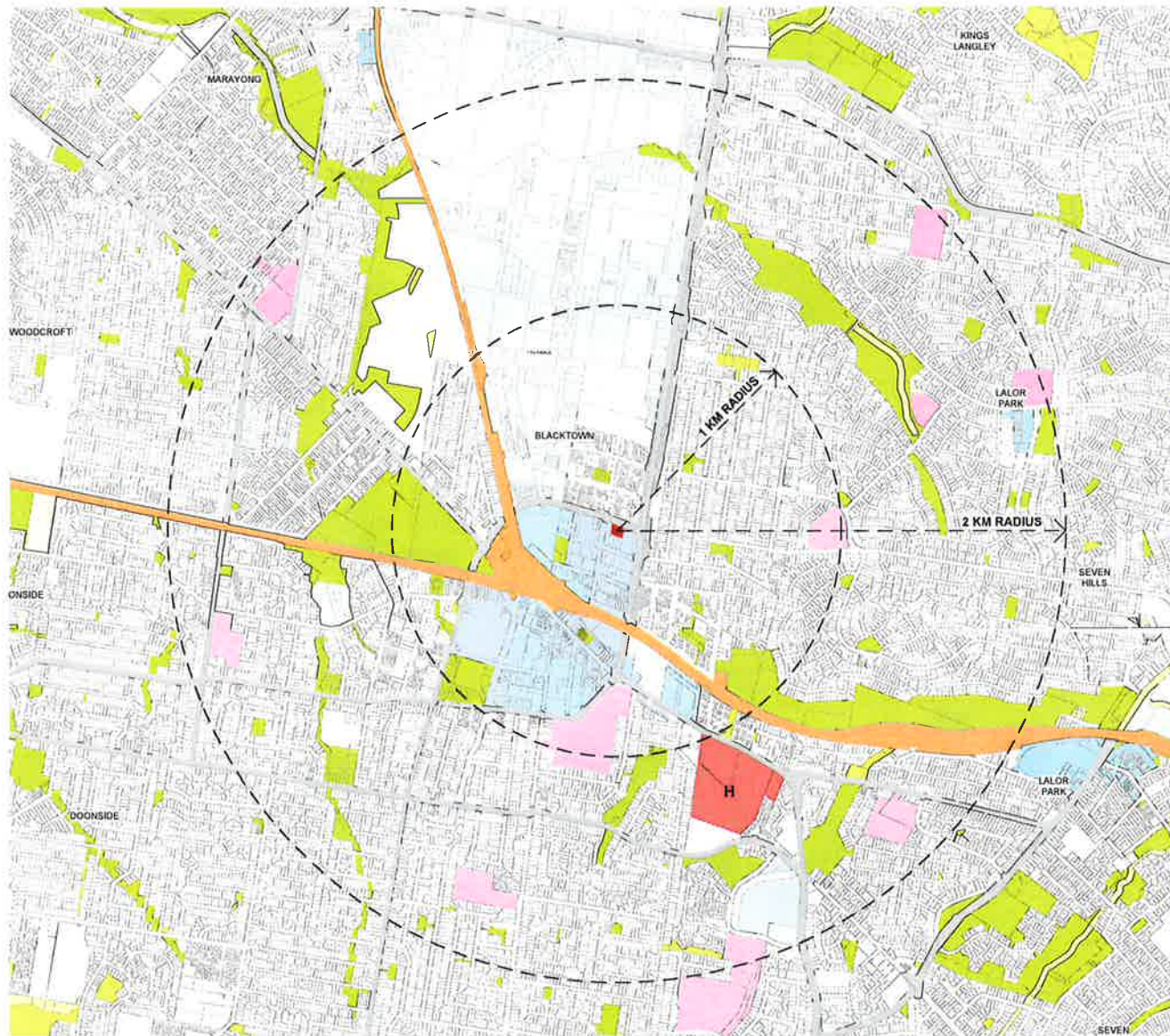
**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002564 No. 10-14 THIRD AVE  
BLACKTOWN

Get  
FIVE UNIT PTY/ LTD

## DEMOLITION PLAN

Drawn: N Z	Checked: CZ	Date: AUG 2016
Activity Type: QA	Job #: 1393-15	Scale of A1: 1 200
Project #: P 4474	Sheet #: A101	Issued: B





## LEGEND

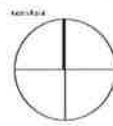
- SUBJECT SITE
- EDUCATION
- HOSPITAL
- PARKS / GREEN SPACE
- MAJOR ROADS
- RAIL CORRIDOR
- MIXED USE
- COMMERCIAL CORE

**LOCATION PLAN**  
Scale 1:10000

DATE: 30/08/2016  
BY: FOR DA  
REVISION: 16/01/2017

DATE: 30/08/2016  
BY: FOR DA  
REVISION: 16/01/2017

**Client's Notes**  
1. All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.  
2. Levels shown are approximate unless otherwise indicated by reduced levels.  
3. Figure dimensions must be taken in preference to scaling.  
4. All boundary lines must be verified by the surveyor prior to commencement of any building work.  
5. Where engineering drawings are required such must refer to the drawing.  
6. Dimensions to be checked by the Council's requirements and AS 2600-1:1990.  
7. All services to be located and verified by the Builder with relevant authorities before any building work commences.  
  
**COPYRIGHT**  
This design and the associated documents are subject to copyright laws and may not be reproduced in any form without the written consent of Alagorry Zappia & Associates Pty Ltd.



**Design Consultant**  
**villa & villa**  
arquitectura interior graphics  
LEVEL: 24 HICKSON ROAD, PRESTON VIC 3072  
TEL: 03 9378 1887 FAX: 03 9378 1888  
EMAIL: EDUARDO@VILLANDVILLA.COM.AU  
BRIAN@VILLANDVILLA.COM.AU  
WWW.VILLANDVILLA.COM.AU  
A/NZ: 27 000 100 000

**ALGORY ZAPPIA & ASSOCIATES** PTY LTD  
Building Designers & Consulting Civil & Structural Engineers

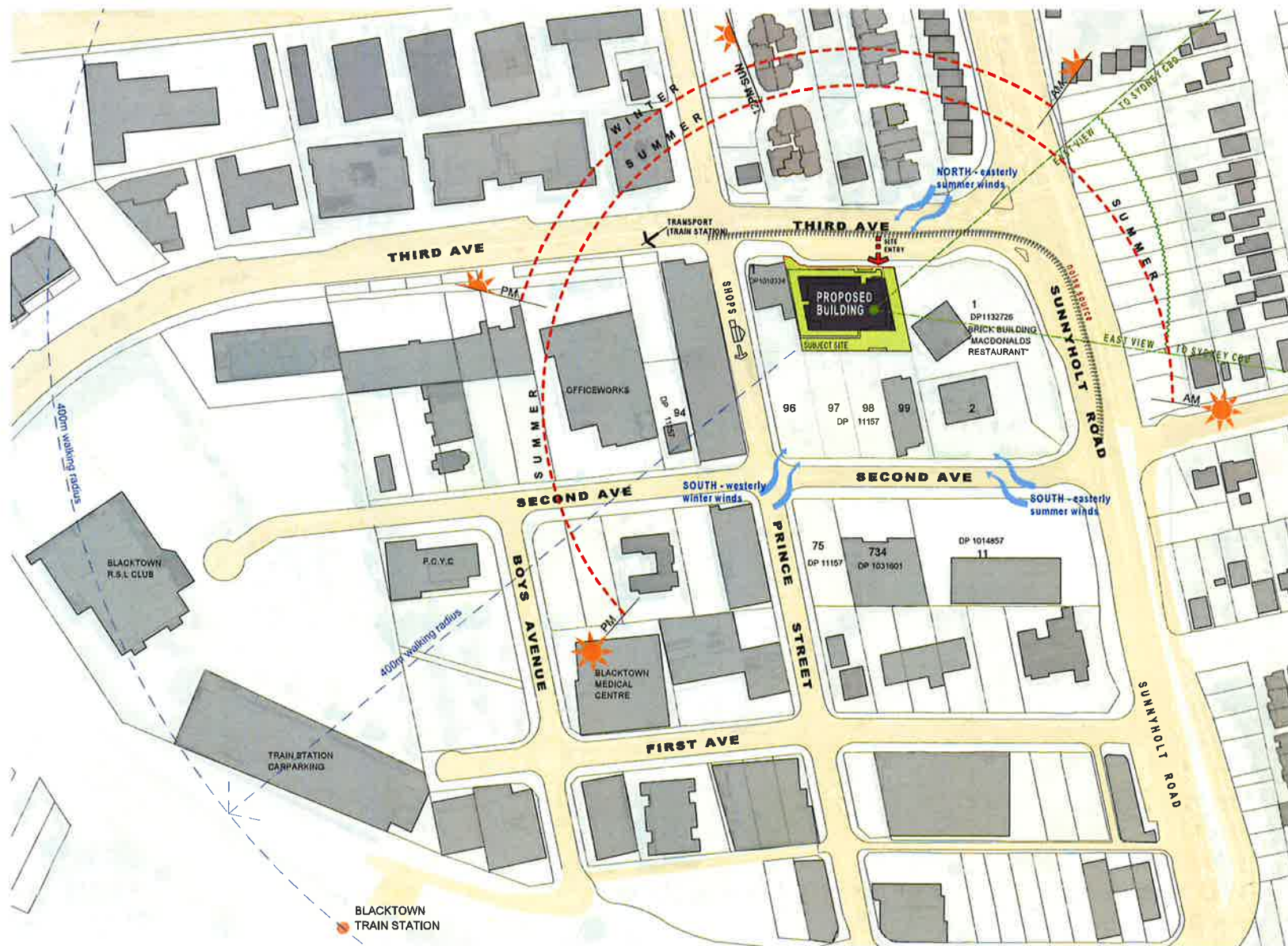
• Suite 4, Level 1, 84 Bichems Road, Inverloch, NSW 5170  
P.O. Box 215, Inverloch East, NSW 5171  
• Phone 0131 740 0001 1 South 0803  
• www.alagorryzappia.com.au  
• www.alagorryzappia.com.au

**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002564 No. 10-14 THIRD AVE  
BLACKTOWN

Client:  
**FIVE UNIT PTY LTD**  
Title:  
**LOCATION PLAN**

Drawn: N.Z.  
Checked: C.Z.  
Activity Type: DA  
Project #: P 4474  
Sheet #: A102  
Issue: B  
Date: AUG 2016  
Scale of A1: 1:10000





**SITE ANALYSIS**  
Scale 1:1000

Rev. Description  
A FDB/DA  
B AMENDED FOR DA

Date Drawn Issue  
30.06.2016 N.Z. C2  
14.01.2017 N.Z. C2

General Notes  
1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.  
2) Levels shown are approximate unless otherwise indicated by reduced levels.  
3) Proposed dimensions must be based on performance to setting.  
4) All buildings constructed must be certified by the relevant authority for commencement of any building work.  
5) Where engineering drawings are required, such must take precedence to this drawing.  
6) Dimensions to be checked and confirmed by the relevant authority and the relevant authority.  
7) All services to be checked and confirmed by the relevant authority before any building work commences.

**COPYRIGHT**  
This design and the associated documents are subject to copyright and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.



Design-Consultants  
**villa villa**  
ARCHITECTS & INTERIORS  
10/11-13/15 BULLOCK STREET, SYDNEY NSW 1585  
TEL: 02 9550 1000 FAX: 02 9550 1001  
WWW.VILLAVILLA.COM.AU

**ALGORRY ZAPPIA & ASSOCIATES** PTY LTD  
Building Designers & Consulting Civil & Structural Engineers

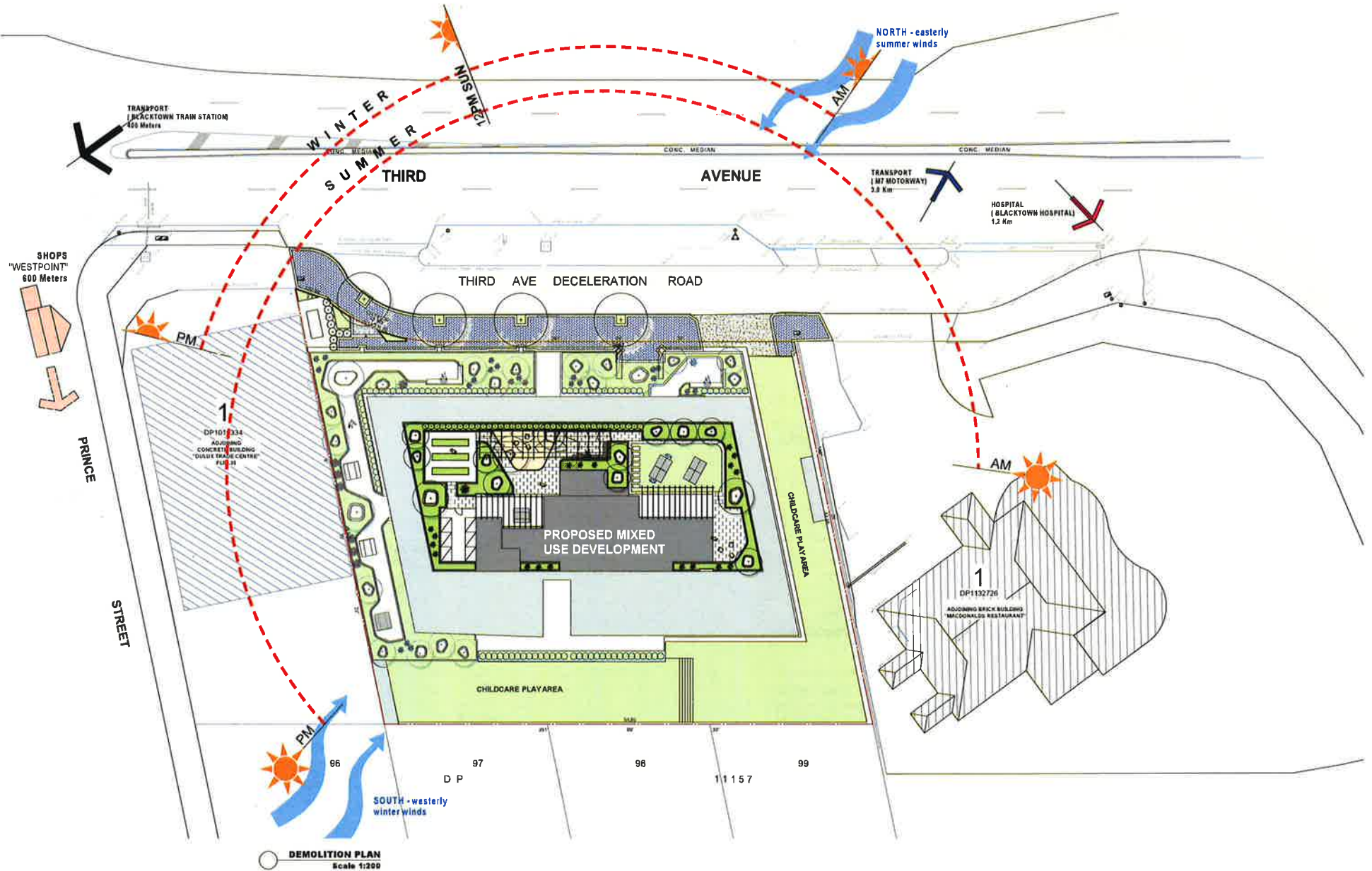
• Suite 4 Level 1, 84 Bulluck Street, Liverpool, NSW 1500  
• 7/10 Bulluck Street, Liverpool, NSW 1500  
• 1/1000 312/1/1000 0000 1/1000 0000  
• 02 9550 1000 0000 0000 0000  
• www.algorryzappia.com.au

Page:1  
**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002564 No. 10-14 THIRD AVE  
BLACKTOWN

Owner  
**FIVE UNIT PTY LTD**  
Title  
**CONTEXT PLAN**

Drawn N.Z. Check C.Z. Date AUG 2016  
Activity Type DA Job # 1393-15 Scale 1:1000  
Project # P 4474 Sheet # A103 Date B





**DEMOLITION PLAN**  
Scale 1:200

Rev	Description	Date	Drawn	Checked
A	FOR DA	30.06.2016	NZ	CZ
B	AMENDED FOR DA	16.01.2017	NZ	CZ

**Notes:**

- 1) All dimensions and floor levels are to be verified by the builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
- 2) Levels shown are approximate unless accompanied by a reduced bench.
- 3) Figure dimensions must be taken as per the drawing.
- 4) All boundary lines must be verified by the surveyor prior to commencement of any building work.
- 5) All easements and other rights must be verified by the surveyor prior to commencement of any building work.
- 6) All easements and other rights must be verified by the surveyor prior to commencement of any building work.
- 7) All easements and other rights must be verified by the surveyor prior to commencement of any building work.
- 8) All easements and other rights must be verified by the surveyor prior to commencement of any building work.
- 9) All easements and other rights must be verified by the surveyor prior to commencement of any building work.
- 10) All easements and other rights must be verified by the surveyor prior to commencement of any building work.

**COPYRIGHT**  
This design and the associated documents are subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.



**Design Elements**

**villa + villa**  
architectural interior graphics

Unit 1, 14-16, 18-20, 22-24, 26-28, 30-32, 34-36, 38-40, 42-44, 46-48, 50-52, 54-56, 58-60, 62-64, 66-68, 70-72, 74-76, 78-80, 82-84, 86-88, 90-92, 94-96, 98-100, 102-104, 106-108, 110-112, 114-116, 118-120, 122-124, 126-128, 130-132, 134-136, 138-140, 142-144, 146-148, 150-152, 154-156, 158-160, 162-164, 166-168, 170-172, 174-176, 178-180, 182-184, 186-188, 190-192, 194-196, 198-200, 202-204, 206-208, 210-212, 214-216, 218-220, 222-224, 226-228, 230-232, 234-236, 238-240, 242-244, 246-248, 250-252, 254-256, 258-260, 262-264, 266-268, 270-272, 274-276, 278-280, 282-284, 286-288, 290-292, 294-296, 298-300, 302-304, 306-308, 310-312, 314-316, 318-320, 322-324, 326-328, 330-332, 334-336, 338-340, 342-344, 346-348, 350-352, 354-356, 358-360, 362-364, 366-368, 370-372, 374-376, 378-380, 382-384, 386-388, 390-392, 394-396, 398-400, 402-404, 406-408, 410-412, 414-416, 418-420, 422-424, 426-428, 430-432, 434-436, 438-440, 442-444, 446-448, 450-452, 454-456, 458-460, 462-464, 466-468, 470-472, 474-476, 478-480, 482-484, 486-488, 490-492, 494-496, 498-500, 502-504, 506-508, 510-512, 514-516, 518-520, 522-524, 526-528, 530-532, 534-536, 538-540, 542-544, 546-548, 550-552, 554-556, 558-560, 562-564, 566-568, 570-572, 574-576, 578-580, 582-584, 586-588, 590-592, 594-596, 598-600, 602-604, 606-608, 610-612, 614-616, 618-620, 622-624, 626-628, 630-632, 634-636, 638-640, 642-644, 646-648, 650-652, 654-656, 658-660, 662-664, 666-668, 670-672, 674-676, 678-680, 682-684, 686-688, 690-692, 694-696, 698-700, 702-704, 706-708, 710-712, 714-716, 718-720, 722-724, 726-728, 730-732, 734-736, 738-740, 742-744, 746-748, 750-752, 754-756, 758-760, 762-764, 766-768, 770-772, 774-776, 778-780, 782-784, 786-788, 790-792, 794-796, 798-800, 802-804, 806-808, 810-812, 814-816, 818-820, 822-824, 826-828, 830-832, 834-836, 838-840, 842-844, 846-848, 850-852, 854-856, 858-860, 862-864, 866-868, 870-872, 874-876, 878-880, 882-884, 886-888, 890-892, 894-896, 898-900, 902-904, 906-908, 910-912, 914-916, 918-920, 922-924, 926-928, 930-932, 934-936, 938-940, 942-944, 946-948, 950-952, 954-956, 958-960, 962-964, 966-968, 970-972, 974-976, 978-980, 982-984, 986-988, 990-992, 994-996, 998-1000, 1002-1004, 1006-1008, 1010-1012, 1014-1016, 1018-1020, 1022-1024, 1026-1028, 1030-1032, 1034-1036, 1038-1040, 1042-1044, 1046-1048, 1050-1052, 1054-1056, 1058-1060, 1062-1064, 1066-1068, 1070-1072, 1074-1076, 1078-1080, 1082-1084, 1086-1088, 1090-1092, 1094-1096, 1098-1100, 1102-1104, 1106-1108, 1110-1112, 1114-1116, 1118-1120, 1122-1124, 1126-1128, 1130-1132, 1134-1136, 1138-1140, 1142-1144, 1146-1148, 1150-1152, 1154-1156, 1158-1160, 1162-1164, 1166-1168, 1170-1172, 1174-1176, 1178-1180, 1182-1184, 1186-1188, 1190-1192, 1194-1196, 1198-1200, 1202-1204, 1206-1208, 1210-1212, 1214-1216, 1218-1220, 1222-1224, 1226-1228, 1230-1232, 1234-1236, 1238-1240, 1242-1244, 1246-1248, 1250-1252, 1254-1256, 1258-1260, 1262-1264, 1266-1268, 1270-1272, 1274-1276, 1278-1280, 1282-1284, 1286-1288, 1290-1292, 1294-1296, 1298-1300, 1302-1304, 1306-1308, 1310-1312, 1314-1316, 1318-1320, 1322-1324, 1326-1328, 1330-1332, 1334-1336, 1338-1340, 1342-1344, 1346-1348, 1350-1352, 1354-1356, 1358-1360, 1362-1364, 1366-1368, 1370-1372, 1374-1376, 1378-1380, 1382-1384, 1386-1388, 1390-1392, 1394-1396, 1398-1400, 1402-1404, 1406-1408, 1410-1412, 1414-1416, 1418-1420, 1422-1424, 1426-1428, 1430-1432, 1434-1436, 1438-1440, 1442-1444, 1446-1448, 1450-1452, 1454-1456, 1458-1460, 1462-1464, 1466-1468, 1470-1472, 1474-1476, 1478-1480, 1482-1484, 1486-1488, 1490-1492, 1494-1496, 1498-1500, 1502-1504, 1506-1508, 1510-1512, 1514-1516, 1518-1520, 1522-1524, 1526-1528, 1530-1532, 1534-1536, 1538-1540, 1542-1544, 1546-1548, 1550-1552, 1554-1556, 1558-1560, 1562-1564, 1566-1568, 1570-1572, 1574-1576, 1578-1580, 1582-1584, 1586-1588, 1590-1592, 1594-1596, 1598-1600, 1602-1604, 1606-1608, 1610-1612, 1614-1616, 1618-1620, 1622-1624, 1626-1628, 1630-1632, 1634-1636, 1638-1640, 1642-1644, 1646-1648, 1650-1652, 1654-1656, 1658-1660, 1662-1664, 1666-1668, 1670-1672, 1674-1676, 1678-1680, 1682-1684, 1686-1688, 1690-1692, 1694-1696, 1698-1700, 1702-1704, 1706-1708, 1710-1712, 1714-1716, 1718-1720, 1722-1724, 1726-1728, 1730-1732, 1734-1736, 1738-1740, 1742-1744, 1746-1748, 1750-1752, 1754-1756, 1758-1760, 1762-1764, 1766-1768, 1770-1772, 1774-1776, 1778-1780, 1782-1784, 1786-1788, 1790-1792, 1794-1796, 1798-1800, 1802-1804, 1806-1808, 1810-1812, 1814-1816, 1818-1820, 1822-1824, 1826-1828, 1830-1832, 1834-1836, 1838-1840, 1842-1844, 1846-1848, 1850-1852, 1854-1856, 1858-1860, 1862-1864, 1866-1868, 1870-1872, 1874-1876, 1878-1880, 1882-1884, 1886-1888, 1890-1892, 1894-1896, 1898-1900, 1902-1904, 1906-1908, 1910-1912, 1914-1916, 1918-1920, 1922-1924, 1926-1928, 1930-1932, 1934-1936, 1938-1940, 1942-1944, 1946-1948, 1950-1952, 1954-1956, 1958-1960, 1962-1964, 1966-1968, 1970-1972, 1974-1976, 1978-1980, 1982-1984, 1986-1988, 1990-1992, 1994-1996, 1998-2000, 2002-2004, 2006-2008, 2010-2012, 2014-2016, 2018-2020, 2022-2024, 2026-2028, 2030-2032, 2034-2036, 2038-2040, 2042-2044, 2046-2048, 2050-2052, 2054-2056, 2058-2060, 2062-2064, 2066-2068, 2070-2072, 2074-2076, 2078-2080, 2082-2084, 2086-2088, 2090-2092, 2094-2096, 2098-2100, 2102-2104, 2106-2108, 2110-2112, 2114-2116, 2118-2120, 2122-2124, 2126-2128, 2130-2132, 2134-2136, 2138-2140, 2142-2144, 2146-2148, 2150-2152, 2154-2156, 2158-2160, 2162-2164, 2166-2168, 2170-2172, 2174-2176, 2178-2180, 2182-2184, 2186-2188, 2190-2192, 2194-2196, 2198-2200, 2202-2204, 2206-2208, 2210-2212, 2214-2216, 2218-2220, 2222-2224, 2226-2228, 2230-2232, 2234-2236, 2238-2240, 2242-2244, 2246-2248, 2250-2252, 2254-2256, 2258-2260, 2262-2264, 2266-2268, 2270-2272, 2274-2276, 2278-2280, 2282-2284, 2286-2288, 2290-2292, 2294-2296, 2298-2300, 2302-2304, 2306-2308, 2310-2312, 2314-2316, 2318-2320, 2322-2324, 2326-2328, 2330-2332, 2334-2336, 2338-2340, 2342-2344, 2346-2348, 2350-2352, 2354-2356, 2358-2360, 2362-2364, 2366-2368, 2370-2372, 2374-2376, 2378-2380, 2382-2384, 2386-2388, 2390-2392, 2394-2396, 2398-2400, 2402-2404, 2406-2408, 2410-2412, 2414-2416, 2418-2420, 2422-2424, 2426-2428, 2430-2432, 2434-2436, 2438-2440, 2442-2444, 2446-2448, 2450-2452, 2454-2456, 2458-2460, 2462-2464, 2466-2468, 2470-2472, 2474-2476, 2478-2480, 2482-2484, 2486-2488, 2490-2492, 2494-2496, 2498-2500, 2502-2504, 2506-2508, 2510-2512, 2514-2516, 2518-2520, 2522-2524, 2526-2528, 2530-2532, 2534-2536, 2538-2540, 2542-2544, 2546-2548, 2550-2552, 2554-2556, 2558-2560, 2562-2564, 2566-2568, 2570-2572, 2574-2576, 2578-2580, 2582-2584, 2586-2588, 2590-2592, 2594-2596, 2598-2600, 2602-2604, 2606-2608, 2610-2612, 2614-2616, 2618-2620, 2622-2624, 2626-2628, 2630-2632, 2634-2636, 2638-2640, 2642-2644, 2646-2648, 2650-2652, 2654-2656, 2658-2660, 2662-2664, 2666-2668, 2670-2672, 2674-2676, 2678-2680, 2682-2684, 2686-2688, 2690-2692, 2694-2696, 2698-2700, 2702-2704, 2706-2708, 2710-2712, 2714-2716, 2718-2720, 2722-2724, 2726-2728, 2730-2732, 2734-2736, 2738-2740, 2742-2744, 2746-2748, 2750-2752, 2754-2756, 2758-2760, 2762-2764, 2766-2768, 2770-2772, 2774-2776, 2778-2780, 2782-2784, 2786-2788, 2790-2792, 2794-2796, 2798-2800, 2802-2804, 2806-2808, 2810-2812, 2814-2816, 2818-2820, 2822-2824, 2826-2828, 2830-2832, 2834-2836, 2838-2840, 2842-2844, 2846-2848, 2850-2852, 2854-2856, 2858-2860, 2862-2864, 2866-2868, 2870-2872, 2874-2876, 2878-2880, 2882-2884, 2886-2888, 2890-2892, 2894-2896, 2898-2900, 2902-2904, 2906-2908, 2910-2912, 2914-2916, 2918-2920, 2922-2924, 2926-2928, 2930-2932, 2934-2936, 2938-2940, 2942-2944, 2946-2948, 2950-2952, 2954-2956, 2958-2960, 2962-2964, 2966-2968, 2970-2972, 2974-2976, 2978-2980, 2982-2984, 2986-2988, 2990-2992, 2994-2996, 2998-3000, 3002-3004, 3006-3008, 3010-3012, 3014-3016, 3018-3020, 3022-3024, 3026-3028, 3030-3032, 3034-3036, 3038-3040, 3042-3044, 3046-3048, 3050-3052, 3054-3056, 3058-3060, 3062-3064, 3066-3068, 3070-3072, 3074-3076, 3078-3080, 3082-3084, 3086-3088, 3090-3092, 3094-3096, 3098-3100, 3102-3104, 3106-3108, 3110-3112, 3114-3116, 3118-3120, 3122-3124, 3126-3128, 3130-3132, 3134-3136, 3138-3140, 3142-3144, 3146-3148, 3150-3152, 3154-3156, 3158-3160, 3162-3164, 3166-3168, 3170-3172, 3174-3176, 3178-3180, 3182-3184, 3186-3188, 3190-3192, 3194-3196, 3198-3200, 3202-3204, 3206-3208, 3210-3212, 3214-3216, 3218-3220, 3222-3224, 3226-3228, 3230-3232, 3234-3236, 3238-3240, 3242-3244, 3246-3248, 3250-3252, 3254-3256, 3258-3260, 3262-3264, 3266-3268, 3270-3272, 3274-3276, 3278-3280, 3282-3284, 3286-3288, 3290-3292, 3294-3296, 3298-3300, 3302-3304, 3306-3308, 3310-3312, 3314-3316, 3318-3320, 3322-3324, 3326-3328, 3330-3332, 3334-3336, 3338-3340, 3342-3344, 3346-3348, 3350-3352, 3354-3356, 3358-3360, 3362-3364, 3366-3368, 3370-3372, 3374-3376, 3378-3380, 3382-3384, 3386-3388, 3390-3392, 3394-3396, 3398-3400, 3402-3404, 3406-3408, 3410-3412, 3414-3416, 3418-3420, 3422-3424, 3426-3428, 3430-3432, 3434-3436, 3438-3440, 3442-3444, 3446-3448, 3450-3452, 3454-3456, 3458-3460, 3462-3464, 3466-3468, 3470-3472, 3474-3476, 3478-3480, 3482-3484, 3486-3488, 3490-3492, 3494-3496, 3498-3500, 3502-3504, 3506-3508, 3510-3512, 3514-3516, 3518-3520, 3522-3524, 3526-3528, 3530-3532, 3534-3536, 3538-3540, 3542-3544, 3546-3548, 3550-3552, 3554-3556, 3558-3560, 3562-3564, 3566-3568, 3570-3572, 3574-3576, 3578-3580, 3582-3584, 3586-3588, 3590-3592, 3594-3596, 3598-3600, 3602-3604, 3606-3608, 3610-3612, 3614-3616, 3618-3620, 3622-3624, 3626-3628, 3630-3632, 3634-3636, 3638-3640, 3642-3644, 3646-3648, 3650-3652, 3654-3656, 3658-3660, 3662-3664, 3666-3668, 3670-3672, 3674-3676, 3678-3680, 3682-3684, 3686-3688, 3690-3692, 3694-3696, 3698-3700, 3702-3704, 3706-3708, 3710-3712, 3714-3716, 3718-3720, 3722-3724, 3726-3728, 3730-3732, 3734-3736, 3738-3740, 3742-3744, 3746-3748, 3750-3752, 3754-3756, 3758-3760, 3762-3764, 3766-3768, 3770-3772, 3774-3776, 3778-3780, 3782-3784, 3786-3788, 3790-3792, 3794-3796, 3798-3800, 3802-3804, 3806-3808, 3810-3812, 3814-3816, 3818-3820, 3822-3824, 3826-3828, 3830-3832, 3834-3836, 3838-3840, 3842-3844, 3846-3848, 3850-3852, 3854-3856, 3858-3860, 3862-3864, 3866-3868, 3870-3872, 3874-3876, 3878-3880, 3882-3884, 3886-3888, 3890-3892, 3894-3896, 3898-3900, 3902-3904, 3906-3908, 3910-3912, 3914-3916, 3918-3920, 3922-3924, 3926-3928, 3930-3932, 3934-3936, 3938-3940, 3942-3944, 3946-3948, 3950-3952, 3954-3956, 3958-3960, 3962-3964, 3966-3968, 3970-3972, 3974-3976, 3978-3980, 3982-3984, 3986-3988, 3990-3992, 3994-3996, 3998-4000, 4002-4004, 4006-4008, 4010-4012, 4014-4016, 4018-4020, 4022-4024, 4026-4028, 4030-4032, 4034-4036, 4038-4040, 4042-4044, 4046-4048, 4050-4052, 4054-4056, 4058-4060, 4062-4064, 4066-4068, 4070-4072, 4074-4076, 4078-4080, 4082-4084, 4086-4088, 4090-4092, 4094-4096, 4098-4100, 4102-4104, 4106-4108, 4110-4112, 4114-4116, 4118-4120, 4122-4124, 4126-4128, 4130-4132, 4134-4136, 4138-4140, 4142-4144, 4146-4148, 4150-4152, 4154-4156, 4158-4160, 4162-4164, 4166-4168, 4170-4172, 4174-4176, 4178-4180, 4182-4184, 4186-4188, 4190-4192, 4194-4196, 4198-4200, 4202-4204, 4206-4208, 4210-4212, 4214-4216, 4218-4220, 4222-4224, 4226-4228, 4230-4232, 4234-4236, 4238-4240, 4242-4244, 4246-4248, 4250-4252, 4254-4256, 4258-4260, 4262-4264, 4266-4268, 4270-4272, 4274-4276, 4278-4280, 4282-4284, 4286-4288, 4290-4292, 4294-4296, 4298-4300, 4302-4304, 4306-4308, 4310-4312, 4314-4316, 4318-4320, 4322-4324, 4326-4328, 4330-4332, 4334-4336, 4338-4340, 4342-4344, 4346-4348, 4350-4352, 4354

Drawn  
N Z  
Checked  
CZ  
Date  
AUG 2016  
As Issued Type  
DA  
Job #  
1393-15  
Scale (1"=)  
1 1/4", 1:04  
Project #  
P 4474  
Sheet #  
A105  
Issue  
D



W.A.	Description	Date	Drawn	Revised
A	FOR DA	01.08.2016	NZ	CZ
B	FOR DA	11.08.2016	NZ	CZ
C	AMENDED FOR DA	16.01.2017	NZ	CZ

**COPYRIGHT**  
This design and the associated drawings are subject to copyright laws and may not be reproduced in any form without written consent from Agnery Zappia & Associates Pty Ltd.

**villa + villa**  
edilizia intera, grafica  
- 06/8799999 - 06/8799999  
www.villaplus.it  
villaplus@villaplus.it  
villaplus@villaplus.it  
villaplus@villaplus.it  
villaplus@villaplus.it

**ALGORRY ZAPPIA & ASSOCIATES** PIV LTD  
Building Designers & Consulting Civil & Structural Engineers

• Suite 4, Level 1, 84 Rathfriland Street, Liverpool, NSW 1570  
P.O. Box 895, Liverpool Business Centre, NSW 1571  
T 0606 3121 / 0606 0362 F 0607 6963  
e [algorryzappia.com.au](mailto:enquiries@algorryzappia.com.au)

Project:  
**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 In DP1002564 No. 10-14 THIRD AVE  
BLACKTOWN

Client:  
**FIVE UNIT PTY/ LTD**

Title:  
**PROJECT DATA**

COMMERCIAL /  
RETAIL SPACE



## RESIDENTIAL DIVERSITY

1. SINGLE BED UNIT WITH EXTERIOR LIVING
2. TWO BED UNIT LIVING SPACE
3. EXTERNAL APARTMENT BALCONY LIVING SPACES
4. TWO BED UNIT LIVING SPACE
5. TWO BED UNIT KITCHEN CONNECTION TO BALCONY

Rev	Description	Date	Drawn	By	Check
A	FOR DA	10.06.2016	NZ	CZ	
B	AMENDED FOR DA	10.01.2017	NZ	CZ	

1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.  
 2) Levels shown are approximate unless otherwise specified by the designer.  
 3) Figure dimensions must be based on finished floor levels.  
 4) All boundary lines must be verified by the surveyor prior to commencement of any building work.  
 5) Where engineering drawings are required such must take precedence to this drawing.  
 6) Dimensions to be checked against the approved plans and drawings.  
 7) All services to be located and installed by the Builder (with relevant authorities) before any building work commences.  
 COPYRIGHT:  
 This design and the associated documents are subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.

Design Consultants  
**villa @ villa**  
 10/100 2564 No. 10-14 Third Ave  
 Blacktown NSW 2133  
 Tel: 02 9611 1000  
 Fax: 02 9611 1001  
 Email: info@villavilla.com.au  
 Website: www.villavilla.com.au

ALGORY ZAPPIA & ASSOCIATES 219 110  
 Building Designers & Consulting Civil & Structural Engineers  
 10/100 2564 No. 10-14 Third Ave  
 Blacktown NSW 2133  
 Tel: 02 9611 1000  
 Fax: 02 9611 1001  
 Email: info@algoryzappia.com.au  
 Website: www.algoryzappia.com.au

PROPOSED MIXED USE DEVELOPMENT  
 Lot 100 in DP1002564 No. 10-14 THIRD AVE  
 BLACKTOWN  
 C/O  
 FIVE UNIT PTY LTD  
 The PRECEDENTS

Drawn	Checked	Date
NZ	CZ	AUG 2016
Project	Sheet	Drawn
P 4474	A107	B

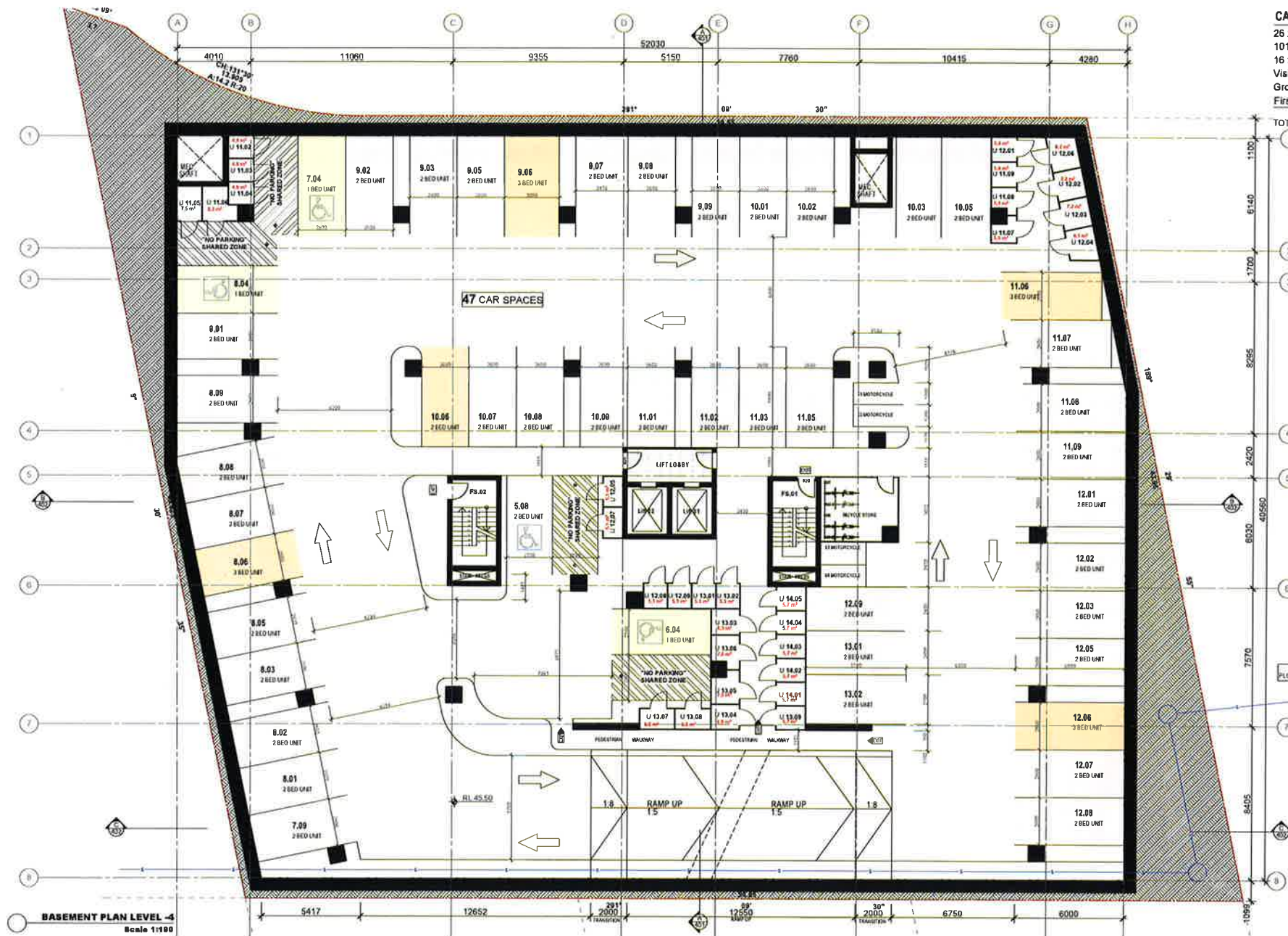




**CARPARKING PROVIDED:**

26 x 1 bed apartment - 26 space  
 101 x 2 bed apartment - 101 spaces  
 16 x 3 bed apartment - 16 spaces  
 Visitors - 21 spaces  
 Ground floor Retail / Business - 16 spaces  
 First Floor Childcare - 50 spaces

TOTAL NUMBER CAR SPACES - provided: 230



Rev	Description	Date	Drawn	Checked
A	FOR DA	10.08.2016	NZ	CZ
B	FOR DA	31.08.2016	NZ	CZ
C	AMENDED FOR DA	16.01.2017	NZ	CZ

**Notes:**

- All dimensions and floor areas are to be verified by the builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
- Levels shown are approximate unless accompanied by a survey datum.
- Figure dimensions must be taken to the centerline of building.
- All building elements must be verified by the architect prior to commencement of any building work.
- Where engineering drawings are required, the builder must refer to the drawings.
- Structures to be designed by the Council is required and is 100% to 100%.
- All services to be located and verified by the builder with relevant authorities before any building work commences.

**COPYRIGHT**  
 This drawing and the associated documents are subject to copyright law and may not be reproduced in any form without written permission from Algorry Zappia & Associates Pty Ltd.



**Design-Consultant**

**villa villa**

ARCHITECTS

10/11-12/13, 14/15-15/16, 16/17-17/18, 18/19-19/20, 20/21-21/22, 22/23-23/24, 24/25-25/26, 26/27-27/28, 28/29-29/30, 30/31-31/32, 32/33-33/34, 34/35-35/36, 36/37-37/38, 38/39-39/40, 40/41-41/42, 42/43-43/44, 44/45-45/46, 46/47-47/48, 48/49-49/50, 50/51-51/52, 52/53-53/54, 54/55-55/56, 56/57-57/58, 58/59-59/60, 60/61-61/62, 62/63-63/64, 64/65-65/66, 66/67-67/68, 68/69-69/70, 70/71-71/72, 72/73-73/74, 74/75-75/76, 76/77-77/78, 78/79-79/80, 80/81-81/82, 82/83-83/84, 84/85-85/86, 86/87-87/88, 88/89-89/90, 90/91-91/92, 92/93-93/94, 94/95-95/96, 96/97-97/98, 98/99-99/100, 100/101-101/102, 102/103-103/104, 104/105-105/106, 106/107-107/108, 108/109-109/110, 110/111-111/112, 112/113-113/114, 114/115-115/116, 116/117-117/118, 118/119-119/120, 120/121-121/122, 122/123-123/124, 124/125-125/126, 126/127-127/128, 128/129-129/130, 130/131-131/132, 132/133-133/134, 134/135-135/136, 136/137-137/138, 138/139-139/140, 140/141-141/142, 142/143-143/144, 144/145-145/146, 146/147-147/148, 148/149-149/150, 150/151-151/152, 152/153-153/154, 154/155-155/156, 156/157-157/158, 158/159-159/160, 160/161-161/162, 162/163-163/164, 164/165-165/166, 166/167-167/168, 168/169-169/170, 170/171-171/172, 172/173-173/174, 174/175-175/176, 176/177-177/178, 178/179-179/180, 180/181-181/182, 182/183-183/184, 184/185-185/186, 186/187-187/188, 188/189-189/190, 190/191-191/192, 192/193-193/194, 194/195-195/196, 196/197-197/198, 198/199-199/200, 200/201-201/202, 202/203-203/204, 204/205-205/206, 206/207-207/208, 208/209-209/210, 210/211-211/212, 212/213-213/214, 214/215-215/216, 216/217-217/218, 218/219-219/220, 220/221-221/222, 222/223-223/224, 224/225-225/226, 226/227-227/228, 228/229-229/230, 230/231-231/232, 232/233-233/234, 234/235-235/236, 236/237-237/238, 238/239-239/240, 240/241-241/242, 242/243-243/244, 244/245-245/246, 246/247-247/248, 248/249-249/250, 250/251-251/252, 252/253-253/254, 254/255-255/256, 256/257-257/258, 258/259-259/260, 260/261-261/262, 262/263-263/264, 264/265-265/266, 266/267-267/268, 268/269-269/270, 270/271-271/272, 272/273-273/274, 274/275-275/276, 276/277-277/278, 278/279-279/280, 280/281-281/282, 282/283-283/284, 284/285-285/286, 286/287-287/288, 288/289-289/290, 290/291-291/292, 292/293-293/294, 294/295-295/296, 296/297-297/298, 298/299-299/300, 300/301-301/302, 302/303-303/304, 304/305-305/306, 306/307-307/308, 308/309-309/310, 310/311-311/312, 312/313-313/314, 314/315-315/316, 316/317-317/318, 318/319-319/320, 320/321-321/322, 322/323-323/324, 324/325-325/326, 326/327-327/328, 328/329-329/330, 330/331-331/332, 332/333-333/334, 334/335-335/336, 336/337-337/338, 338/339-339/340, 340/341-341/342, 342/343-343/344, 344/345-345/346, 346/347-347/348, 348/349-349/350, 350/351-351/352, 352/353-353/354, 354/355-355/356, 356/357-357/358, 358/359-359/360, 360/361-361/362, 362/363-363/364, 364/365-365/366, 366/367-367/368, 368/369-369/370, 370/371-371/372, 372/373-373/374, 374/375-375/376, 376/377-377/378, 378/379-379/380, 380/381-381/382, 382/383-383/384, 384/385-385/386, 386/387-387/388, 388/389-389/390, 390/391-391/392, 392/393-393/394, 394/395-395/396, 396/397-397/398, 398/399-399/400, 400/401-401/402, 402/403-403/404, 404/405-405/406, 406/407-407/408, 408/409-409/410, 410/411-411/412, 412/413-413/414, 414/415-415/416, 416/417-417/418, 418/419-419/420, 420/421-421/422, 422/423-423/424, 424/425-425/426, 426/427-427/428, 428/429-429/430, 430/431-431/432, 432/433-433/434, 434/435-435/436, 436/437-437/438, 438/439-439/440, 440/441-441/442, 442/443-443/444, 444/445-445/446, 446/447-447/448, 448/449-449/450, 450/451-451/452, 452/453-453/454, 454/455-455/456, 456/457-457/458, 458/459-459/460, 460/461-461/462, 462/463-463/464, 464/465-465/466, 466/467-467/468, 468/469-469/470, 470/471-471/472, 472/473-473/474, 474/475-475/476, 476/477-477/478, 478/479-479/480, 480/481-481/482, 482/483-483/484, 484/485-485/486, 486/487-487/488, 488/489-489/490, 490/491-491/492, 492/493-493/494, 494/495-495/496, 496/497-497/498, 498/499-499/500, 500/501-501/502, 502/503-503/504, 504/505-505/506, 506/507-507/508, 508/509-509/510, 510/511-511/512, 512/513-513/514, 514/515-515/516, 516/517-517/518, 518/519-519/520, 520/521-521/522, 522/523-523/524, 524/525-525/526, 526/527-527/528, 528/529-529/530, 530/531-531/532, 532/533-533/534, 534/535-535/536, 536/537-537/538, 538/539-539/540, 540/541-541/542, 542/543-543/544, 544/545-545/546, 546/547-547/548, 548/549-549/550, 550/551-551/552, 552/553-553/554, 554/555-555/556, 556/557-557/558, 558/559-559/560, 560/561-561/562, 562/563-563/564, 564/565-565/566, 566/567-567/568, 568/569-569/570, 570/571-571/572, 572/573-573/574, 574/575-575/576, 576/577-577/578, 578/579-579/580, 580/581-581/582, 582/583-583/584, 584/585-585/586, 586/587-587/588, 588/589-589/590, 590/591-591/592, 592/593-593/594, 594/595-595/596, 596/597-597/598, 598/599-599/600, 600/601-601/602, 602/603-603/604, 604/605-605/606, 606/607-607/608, 608/609-609/610, 610/611-611/612, 612/613-613/614, 614/615-615/616, 616/617-617/618, 618/619-619/620, 620/621-621/622, 622/623-623/624, 624/625-625/626, 626/627-627/628, 628/629-629/630, 630/631-631/632, 632/633-633/634, 634/635-635/636, 636/637-637/638, 638/639-639/640, 640/641-641/642, 642/643-643/644, 644/645-645/646, 646/647-647/648, 648/649-649/650, 650/651-651/652, 652/653-653/654, 654/655-655/656, 656/657-657/658, 658/659-659/660, 660/661-661/662, 662/663-663/664, 664/665-665/666, 666/667-667/668, 668/669-669/670, 670/671-671/672, 672/673-673/674, 674/675-675/676, 676/677-677/678, 678/679-679/680, 680/681-681/682, 682/683-683/684, 684/685-685/686, 686/687-687/688, 688/689-689/690, 690/691-691/692, 692/693-693/694, 694/695-695/696, 696/697-697/698, 698/699-699/700, 700/701-701/702, 702/703-703/704, 704/705-705/706, 706/707-707/708, 708/709-709/710, 710/711-711/712, 712/713-713/714, 714/715-715/716, 716/717-717/718, 718/719-719/720, 720/721-721/722, 722/723-723/724, 724/725-725/726, 726/727-727/728, 728/729-729/730, 730/731-731/732, 732/733-733/734, 734/735-735/736, 736/737-737/738, 738/739-739/740, 740/741-741/742, 742/743-743/744, 744/745-745/746, 746/747-747/748, 748/749-749/750, 750/751-751/752, 752/753-753/754, 754/755-755/756, 756/757-757/758, 758/759-759/760, 760/761-761/762, 762/763-763/764, 764/765-765/766, 766/767-767/768, 768/769-769/770, 770/771-771/772, 772/773-773/774, 774/775-775/776, 776/777-777/778, 778/779-779/780, 780/781-781/782, 782/783-783/784, 784/785-785/786, 786/787-787/788, 788/789-789/790, 790/791-791/792, 792/793-793/794, 794/795-795/796, 796/797-797/798, 798/799-799/800, 800/801-801/802, 802/803-803/804, 804/805-805/806, 806/807-807/808, 808/809-809/810, 810/811-811/812, 812/813-813/814, 814/815-815/816, 816/817-817/818, 818/819-819/820, 820/821-821/822, 822/823-823/824, 824/825-825/826, 826/827-827/828, 828/829-829/830, 830/831-831/832, 832/833-833/834, 834/835-835/836, 836/837-837/838, 838/839-839/840, 840/841-841/842, 842/843-843/844, 844/845-845/846, 846/847-847/848, 848/849-849/850, 850/851-851/852, 852/853-853/854, 854/855-855/856, 856/857-857/858, 858/859-859/860, 860/861-861/862, 862/863-863/864, 864/865-865/866, 866/867-867/868, 868/869-869/870, 870/871-871/872, 872/873-873/874, 874/875-875/876, 876/877-877/878, 878/879-879/880, 880/881-881/882, 882/883-883/884, 884/885-885/886, 886/887-887/888, 888/889-889/890, 890/891-891/892, 892/893-893/894, 894/895-895/896, 896/897-897/898, 898/899-899/900, 900/901-901/902, 902/903-903/904, 904/905-905/906, 906/907-907/908, 908/909-909/910, 910/911-911/912, 912/913-913/914, 914/915-915/916, 916/917-917/918, 918/919-919/920, 920/921-921/922, 922/923-923/924, 924/925-925/926, 926/927-927/928, 928/929-929/930, 930/931-931/932, 932/933-933/934, 934/935-935/936, 936/937-937/938, 938/939-939/940, 940/941-941/942, 942/943-943/944, 944/945-945/946, 946/947-947/948, 948/949-949/950, 950/951-951/952, 952/953-953/954, 954/955-955/956, 956/957-957/958, 958/959-959/960, 960/961-961/962, 962/963-963/964, 964/965-965/966, 966/967-967/968, 968/969-969/970, 970/971-971/972, 972/973-973/974, 974/975-975/976, 976/977-977/978, 978/979-979/980, 980/981-981/982, 982/983-983/984, 984/985-985/986, 986/987-987/988, 988/989-989/990, 990/991-991/992, 992/993-993/994, 994/995-995/996, 996/997-997/998, 998/999-999/1000, 1000/1001-1001/1002, 1002/1003-1003/1004, 1004/1005-1005/1006, 1006/1007-1007/1008, 1008/1009-1009/1010, 1010/1011-1011/1012, 1012/1013-1013/1014, 1014/1015-1015/1016, 1016/1017-1017/1018, 1018/1019-1019/1020, 1020/1021-1021/1022, 1022/1023-1023/1024, 1024/1025-1025/1026, 1026/1027-1027/1028, 1028/1029-1029/1030, 1030/1031-1031/1032, 1032/1033-1033/1034, 1034/1035-1035/1036, 1036/1037-1037/1038, 1038/1039-1039/1040, 1040/1041-1041/1042, 1042/1043-1043/1044, 1044/1045-1045/1046, 1046/1047-1047/1048, 1048/1049-1049/1050, 1050/1051-1051/1052, 1052/1053-1053/1054, 1054/1055-1055/1056, 1056/1057-1057/1058, 1058/1059-1059/1060, 1060/1061-1061/1062, 1062/1063-1063/1064, 1064/1065-1065/1066, 1066/1067-1067/1068, 1068/1069-1069/1070, 1070/1071-1071/1072, 1072/1073-1073/1074, 1074/1075-1075/1076, 1076/1077-1077/1078, 1078/1079-1079/1080, 1080/1081-1081/1082, 1082/1083-1083/1084, 1084/1085-1085/1086, 1086/1087-1087/1088, 1088/1089-1089/1090, 1090/1091-1091/1092, 1092/1093-1093/1094, 1094/1095-1095/1096, 1096/1097-1097/1098, 1098/1099-1099/1100, 1100/1101-1101/1102, 1102/1103-1103/1104, 1104/1105-1105/1106, 1106/1107-1107/1108, 1108/1109-1109/1110, 1110/1111-1111/1112, 1112/1113-1113/1114, 1114/1115-1115/1116, 1116/1117-1117/1118, 1118/1119-1119/1120, 1120/1121-1121/1122, 1122/1123-1123/1124, 1124/1125-1125/1126, 1126/1127-1127/1128, 1128/1129-1129/1130, 1130/1131-1131/1132, 1132/1133-1133/1134, 1134/1135-1135/1136, 1136/1137-1137/1138, 1138/1139-1139/1140, 1140/1141-1141/1142, 1142/1143-1143/1144, 1144/1145-1145/1146, 1146/1147-1147/1148, 1148/1149-1149/1150, 1150/1151-1151/1152, 1152/1153-1153/1154, 1154/1155-1155/1156, 1156/1157-1157/1158, 1158/1159-1159/1160, 1160/1161-1161/1162, 1162/1163-1163/1164, 1164/1165-1165/1166, 1166/1167-1167/1168, 1168/1169-1169/1170, 1170/1171-1171/1172, 1172/1173-1173/1174, 1174/1175-1175/1176, 1176/1177-1177/1178, 1178/1179-1179/1180, 1180/1181-1181/1182, 1182/1183-1183/1184, 1184/1185-1185/1186, 1186/1187-1187/1188, 1188/1189-1189/1190, 1190/1191-1191/1192, 1192/1193-1193/1194, 1194/1195-1195/1196, 1196/1197-1197/1198, 1198/1199-1199/1200, 1200/1201-1201/1202, 1202/1203-1203/1204, 1204/1205-1205/1206, 1206/1207-1207/1208, 1208/1209-1209/1210, 1210/1211-1211/1212, 1212/1213-1213/1214, 1214/1215-1215/1216, 1216/1217-1217/1218, 1218/1219-1219/1220, 1220/1221-1221/1222, 1222/1223-1223/1224, 1224/1225-1225/1226, 1226/1227-1227/1228, 1228/1229-1229/1230, 1230/1231-1231/1232, 1232/1233-1233/1234, 1234/1235-1235/1236, 1236/1237-1237/1238, 1238/1239-1239/1240, 1240/1241-1241/1242, 1242/1243-1243/1244, 1244/1245-1245/1246, 1246/1247-1247/1248, 1248/1249-1249/1250, 1250/1251-1251/1252, 1252/1253-1253/1254, 1254/1255-1255/1256, 1256/1257-1257/1258, 1258/1259-1259/1260, 1260/1261-1261/1262, 1262/1263-1263/1264, 1264/1265-1265/1266, 1266/1267-1267/1268, 1268/1269-1269/1270, 1270/1271-1271/1272, 1272/1273-1273/1274, 1274/1275-1275/1276, 1276/1277-1277/1278, 1278/1279-1279/1280, 1280/1281-1281/1282, 1282/1283-1283/1284, 1284/1285-1285/1286, 1286/1287-1287/1288, 1288/1289-1289/1290, 1290/1291-1291/1292, 1292/1293-1293/1294, 1294/1295-1295/1296, 1296/1297-1297/1298, 1298/1299-1299/1300, 1300/1301-1301/1302, 1302/1303-1303/1304, 1304/1305-1305/1306, 1306/1307-1307/1308, 1308/1309-1309/1310, 1310/1311-1311/13

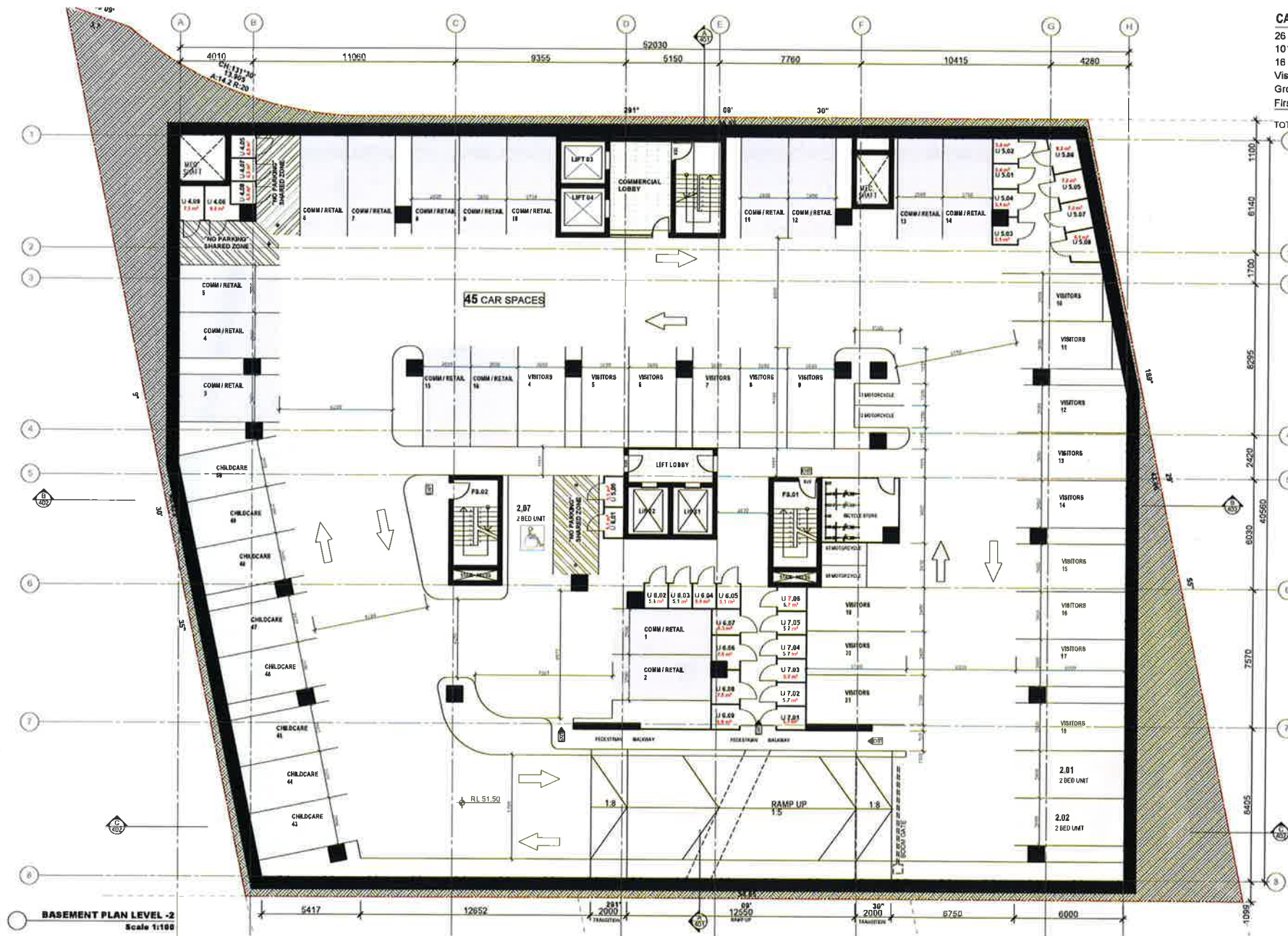




# CARPARKING PROVIDED:

26 x 1 bed apartment - 26 space  
101 x 2 bed apartment - 101 spaces  
16 x 3 bed apartment - 16 spaces  
Visitors - 21 spaces  
Ground floor Retail / Business - 16 spaces  
First Floor Childcare - 50 spaces

TOTAL NUMBER CAR SPACES - provided 230



**BASEMENT PLAN LEVEL -2**  
Scale 1:100

Rev	Description	Date	Drawn	Checked
A	FOR D.A.	30.08.2018	NZ	CZ
B	FOR D.A.	31.08.2018	NZ	CZ
C	AMENDED FOR D.A.	14.01.2019	NZ	CZ

## General Notes

- All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
- Local Urban area requirements are to be complied with by the Builder.
- Special dimensions must be shown on all drawings.
- All boundary lines must be verified by the surveyor prior to commencement of any building work.
- Where engineering drawings are required, the Builder must obtain a professional engineer's approval.
- Dimensions to be checked by the Builder prior to commencement of any building work.
- All services to be located and verified by the Builder with relevant authorities before any building work commences.

**COPYRIGHT**  
This drawing and the associated documents are subject to copyright and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.



## ALGORRY ZAPPIA & ASSOCIATES

Building Designers & Consulting Civil & Structural Engineers

1. Suite 4, Level 1, 84 Bachelors Street, (Opposite NSW 8710)  
P.O. Box 883, Lismore Business Centre, NSW 1571  
1. 0662 2113 / 0662 0901 1. 0662 0902  
E. [info@algorryzappia.com.au](mailto:info@algorryzappia.com.au)  
W. [www.algorryzappia.com.au](http://www.algorryzappia.com.au)

## Project

**PROPOSED MIXED USE DEVELOPMENT**  
Site 100 in GP1002564 No. 10-14 THIRD AVE  
BLACKTOWN

Client  
**FIVE UNIT PTY/ LTD**

Title  
**-2 BASEMENT PLAN**

## Drawn

NZ

Accuracy Type  
DA

Project #  
**P 4474**

## Checked

CZ

Accuracy Type  
DA

Sheet #  
**A204**

## Date

Aug 2018

Scale 1:100, 1:200, 1:500

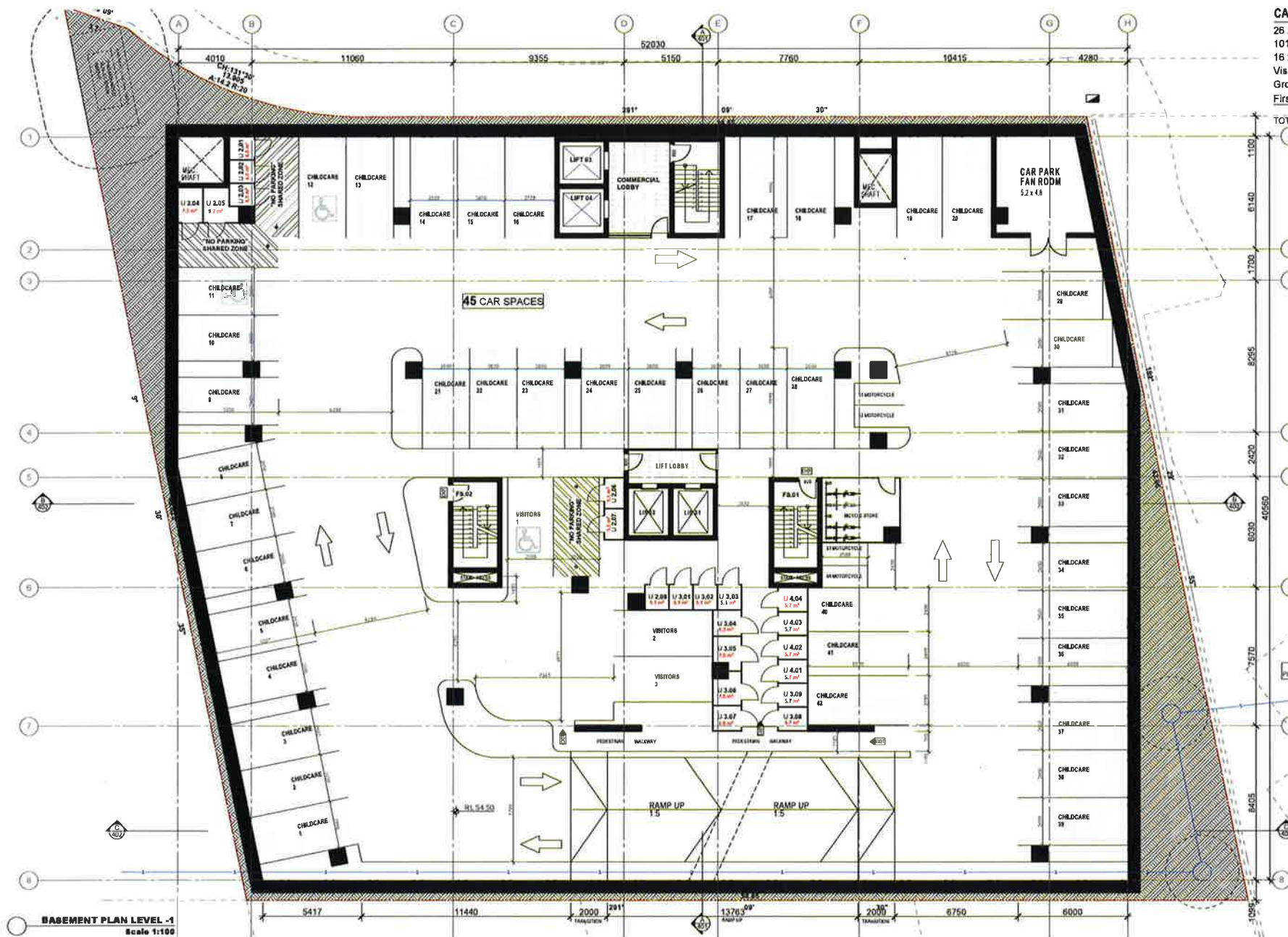
Sheet #  
**C**



# CARPARKING PROVIDED:

26 x 1 bed apartment - 28 spaces  
 101 x 2 bed apartment - 101 spaces  
 16 x 3 bed apartment - 16 spaces  
 Visitors - 21 spaces  
 Ground floor Retail / Business - 16 spaces  
 First Floor Childcare - 50 spaces

TOTAL NUMBER CAR SPACES - provided 230



Rev	Description	Date	Drawn	Checked
A	FOR QA	30.06.2016	NZ	CZ
B	FOR QA	11.08.2016	NZ	CZ
C	AMENDED FOR QA	14.01.2017	NZ	CZ

- Client Notes:
- All dimensions and floor levels are to be verified by the builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
  - Levels shown are approximate unless accompanied by a level of finish.
  - Figured dimensions must be taken in preference to readings.
  - All building work must be carried out in accordance with the current code of practice for building work.
  - Where engineering drawings are required such must take precedence to this drawing.
  - Materials to be specified to comply with the current code of practice and AS 1550.2.1995.
  - All services to be installed and verified by the builder with relevant authorities before any building work commences.

COPYRIGHT  
 The design and the extended document is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.



Logo for villa + villa architectural interior graphics.

ALGORRY ZAPPIA & ASSOCIATES  
 Building Designers & Consulting Civil & Structural Engineers

10/100, Level 1, 64 North Street, Liverpool, NSW 2157  
 P.O. Box 260, Liverpool Business Center, NSW 2157  
 1 9000 1331 / 0608 0262 1 9000 1093  
 e alzy@alzy.com.au  
 w www.alzy.com.au

PROPOSED MIXED USE DEVELOPMENT  
 Lot 100 in DP1002564 No. 10-14 THIRD AVE  
 BLACKTOWN

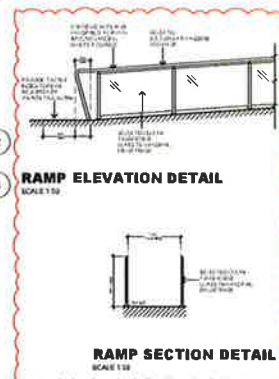
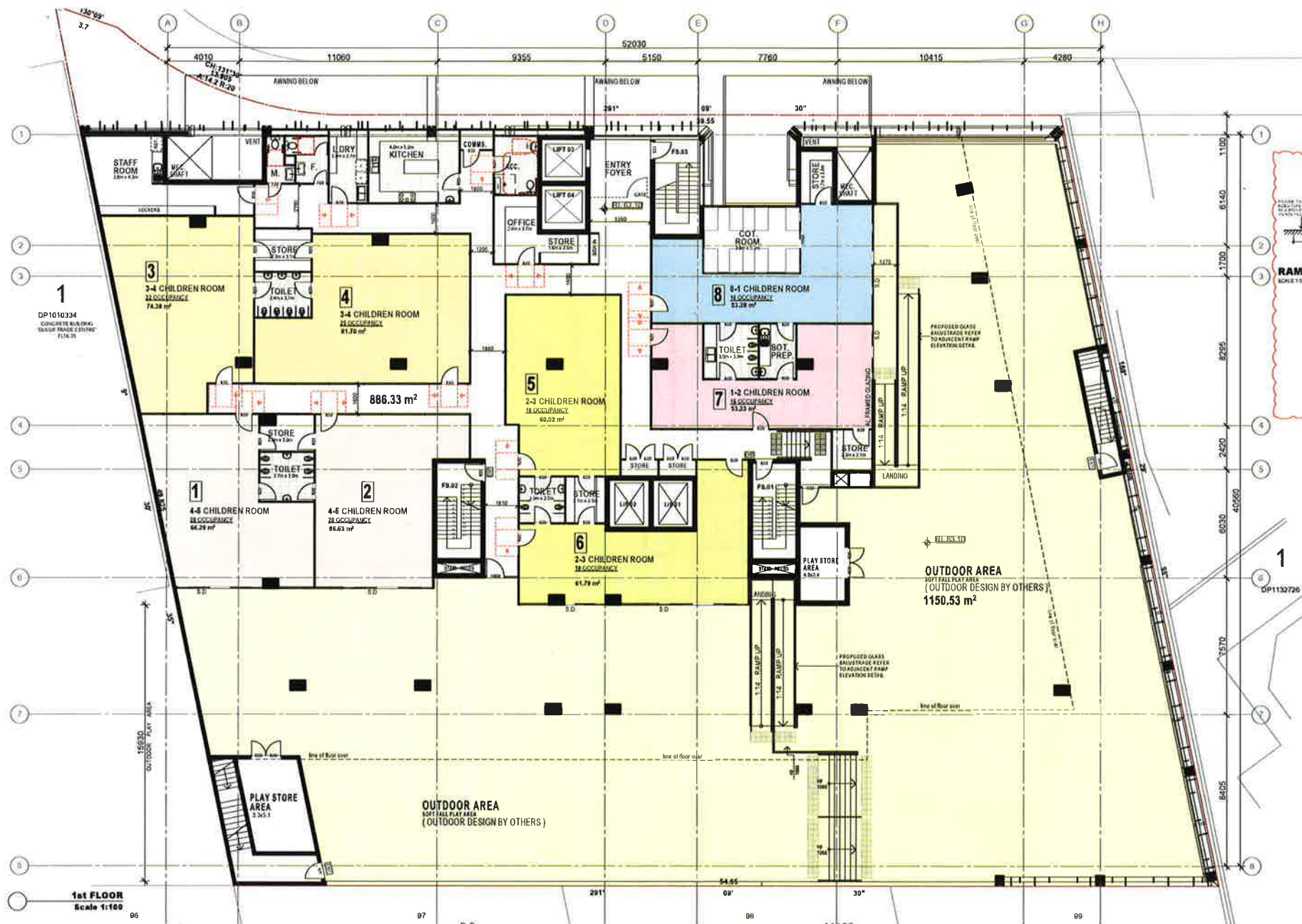
Five Unit Pty / Ltd  
 -1 BASEMENT PLAN

Drawn	Checked	Date
NZ	CZ	AUG 2016
Activity Type	Job #	Scale (1"=1')
DA	1383-15	1:100 1:200
Project #	Sheet #	Notes
P 4474	A205	C







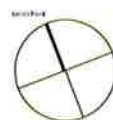


Rev	Description	Date	Drawn	Checked
A	FOR DA	18.01.2017	N.Z.	CZ
B	AMENDED FOR DA	18.01.2017	N.Z.	CZ
C	AMENDED FOR DA	01.05.2017	N.Z.	CZ

**Notes:**

- All dimensions and floor areas are to be verified by the builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
- Levels shown are approximate unless accompanied by detailed levels.
- Figured dimensions must be stated in parentheses in writing.
- All boundary dimensions must be checked by the surveyor prior to commencement of any building work.
- Where engineering drawings are required, such as for the foundation, the designer must be consulted.
- Structures to be built in accordance with the Building Code of New Zealand.
- All structures to be built and finished to the satisfaction of the Building Code of New Zealand.

**NOTES:**  
This design and the associated documents are subject to copyright laws and may not be reproduced in any form without the written consent of Alagorry Zapia & Associates Pty Ltd.



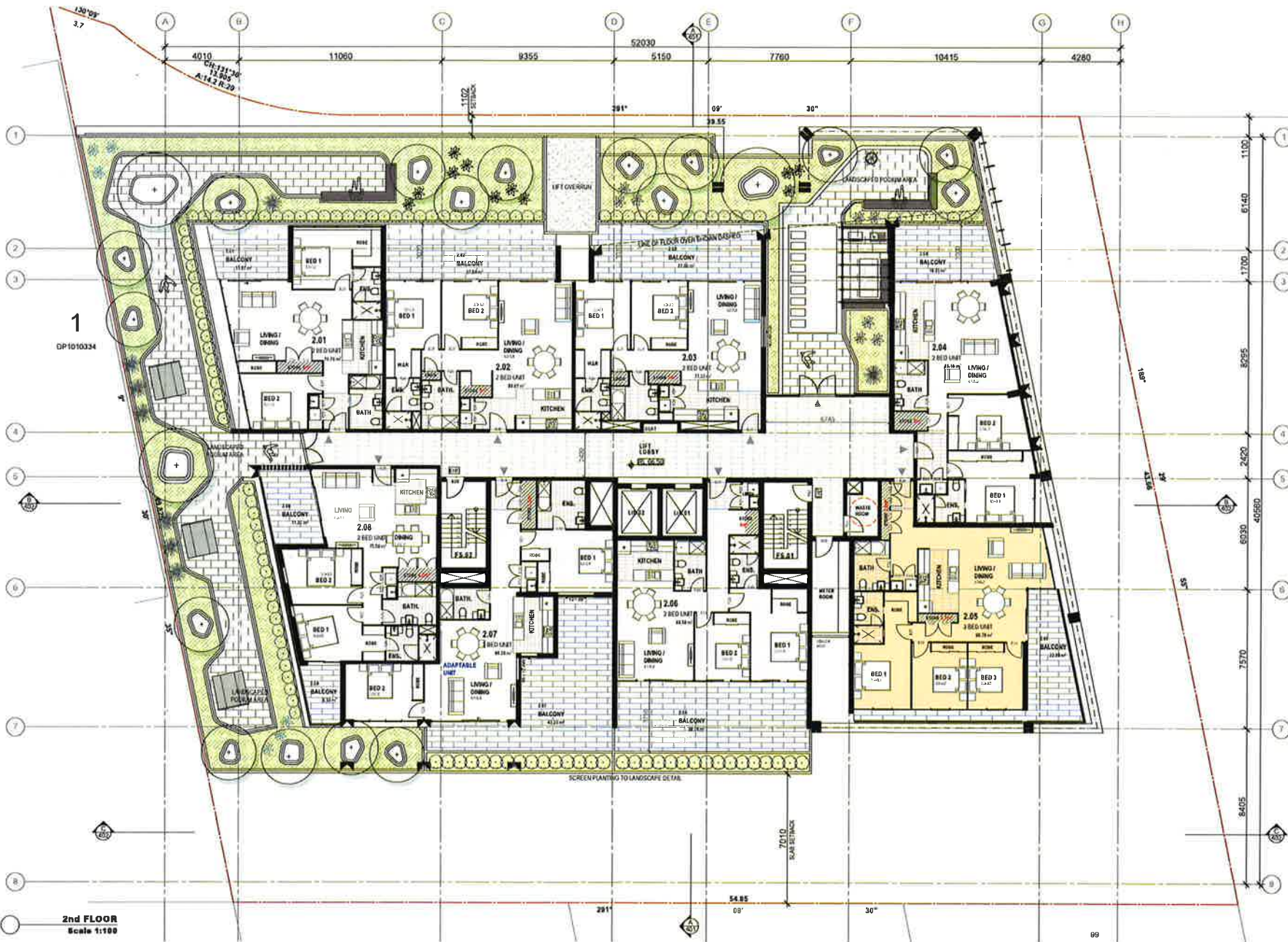
**ALAGORRY ZAPPIA & ASSOCIATES**  
Architectural & Engineering  
10/14 Third Ave, Blacktown, NSW 2133  
Tel: 02 9611 1111  
Fax: 02 9611 1112  
Email: info@alagorryzapia.com.au  
www.alagorryzapia.com.au

**ALAGORRY ZAPPIA & ASSOCIATES** Pty Ltd  
Building Designers & Consulting Civil & Structural Engineers  
10/14 Third Ave, Blacktown, NSW 2133  
Tel: 02 9611 1111  
Fax: 02 9611 1112  
Email: info@alagorryzapia.com.au  
www.alagorryzapia.com.au

**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002564 No. 10-14 THIRD AVE  
BLACKTOWN  
Scale: 1:100  
Date: AUG 2016  
Project: P 4474  
Sheet: A207  
Client: FIVE UNIT PTY LTD

**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002564 No. 10-14 THIRD AVE  
BLACKTOWN  
Scale: 1:100  
Date: AUG 2016  
Project: P 4474  
Sheet: A207  
Client: FIVE UNIT PTY LTD





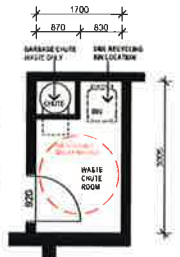
# LEGEND

1 BED

2 BED

3 BED

COMMERCIAL /  
RETAIL SPACE



**TYP WASTE  
CHUTE  
ROOM DETAIL**  
SCALE 1:50

**2nd FLOOR**  
Scale 1:100

Rev	Description	Date	Drawn	Checked
A	FOR D.A.	20.06.2016	N.Z.	C.Z.
B	AMENDED FOR D.A.	14.01.2017	N.Z.	C.Z.
C	AMENDED FOR D.A.	22.05.2017	N.Z.	C.Z.

**General Notes**

- All dimensions and floor areas are to be verified by the builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
- Levels shown are approximate unless accompanied by reduced levels.
- Figure dimensions must be taken to the face of the wall.
- All building elements must be checked by the builder prior to the commencement of any building work.
- Other engineering drawings are required such as structural drawings, etc.
- Dimensions to be verified by the builder prior to the commencement of any building work.
- All services to be located and verified by the builder prior to the commencement of any building work.

**COPYRIGHT**  
This design is the intellectual property of the designer and may not be reproduced in any form without written consent from the designer.



**Design Consultant**  
**villa villa**  
ARCHITECTS  
10/11 THE SQUARE, SYDNEY NSW 1585  
TEL: 02 9550 1111  
WWW.VILLAVILLA.COM.AU

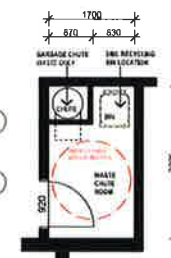
**ALGORRY ZAPPIA & ASSOCIATES** Pty Ltd  
Building Designers & Consulting Civil & Structural Engineers

1. Site & Level 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000, 1001, 1002, 1003, 1004, 1005, 1006, 1007, 1008, 1009, 1010, 1011, 1012, 1013, 1014, 1015, 1016, 1017, 1018, 1019, 1020, 1021, 1022, 1023, 1024, 1025, 1026, 1027, 1028, 1029, 1030, 1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242, 1243, 1244, 1245, 1246, 1247, 1248, 1249, 1250, 1251, 1252, 1253, 1254, 1255, 1256, 1257, 1258, 1259, 1260, 1261, 1262, 1263, 1264, 1265, 1266, 1267, 1268, 1269, 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293, 1294, 1295, 1296, 1297, 1298, 1299, 1300, 1301, 1302, 1303, 1304, 1305, 1306, 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1325, 1326, 1327, 1328, 1329, 1330, 1331, 1332, 1333, 1334, 1335, 1336, 1337, 1338, 1339, 1340, 1341, 1342, 1343, 1344, 1345, 1346, 1347, 1348, 1349, 1350, 1351, 1352, 1353, 1354, 1355, 1356, 1357, 1358, 1359, 1360, 1361, 1362, 1363, 1364, 1365, 1366, 1367, 1368, 1369, 1370, 1371, 1372, 1373, 1374, 1375, 1376, 1377, 1378, 1379, 1380, 1381, 1382, 1383, 1384, 1385, 1386, 1387, 1388, 1389, 1390, 1391, 1392, 1393, 1394, 1395, 1396, 1397, 1398, 1399, 1400, 1401, 1402, 1403, 1404, 1405, 1406, 1407, 1408, 1409, 1410, 1411, 1412, 1413, 1414, 1415, 1416, 1417, 1418, 1419, 1420, 1421, 1422, 1423, 1424, 1425, 1426, 1427, 1428, 1429, 1430, 1431, 1432, 1433, 1434, 1435, 1436, 1437, 1438, 1439, 1440, 1441, 1442, 1443, 1444, 1445, 1446, 1447, 1448, 1449, 1450, 1451, 1452, 1453, 1454, 1455, 1456, 1457, 1458, 1459, 1460, 1461, 1462, 1463, 1464, 1465, 1466, 1467, 1468, 1469, 1470, 1471, 1472, 1473, 1474, 1475, 1476, 1477, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485, 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1493, 1494, 1495, 1496, 1497, 1498, 1499, 1500, 1501, 1502, 1503, 1504, 1505, 1506, 1507, 1508, 1509, 1510, 1511, 1512, 1513, 1514, 1515, 1516, 1517, 1518, 1519, 1520, 1521, 1522, 1523, 1524, 1525, 1526, 1527, 1528, 1529, 1530, 1531, 1532, 1533, 1534, 1535, 1536, 1537, 1538, 1539, 1540, 1541, 1542, 1543, 1544, 1545, 1546, 1547, 1548, 1549, 1550, 1551, 1552, 1553, 1554, 1555, 1556, 1557, 1558, 1559, 1560, 1561, 1562, 1563, 1564, 1565, 1566, 1567, 1568, 1569, 1570, 1571, 1572, 1573, 1574, 1575, 1576, 1577, 1578, 1579, 1580, 1581, 1582, 1583, 1584, 1585, 1586, 1587, 1588, 1589, 1590, 1591, 1592, 1593, 1594, 1595, 1596, 1597, 1598, 1599, 1600, 1601, 1602, 1603, 1604, 1605, 1606, 1607, 1608, 1609, 1610, 1611, 1612, 1613, 1614, 1615, 1616, 1617, 1618, 1619, 1620, 1621, 1622, 1623, 1624, 1625, 1626, 1627, 1628, 1629, 1630, 1631, 1632, 1633, 1634, 1635, 1636, 1637, 1638, 1639, 1640, 1641, 1642, 1643, 1644, 1645, 1646, 1647, 1648, 1649, 1650, 1651, 1652, 1653, 1654, 1655, 1656, 1657, 1658, 1659, 1660, 1661, 1662, 1663, 1664, 1665, 1666, 1667, 1668, 1669, 1670, 1671, 1672, 1673, 1674, 1675, 1676, 1677, 1678, 1679, 1680, 1681, 1682, 1683, 1684, 1685, 1686, 1687, 1688, 1689, 1690, 1691, 1692, 1693, 1694, 1695, 1696, 1697, 1698, 1699, 1700, 1701, 1702, 1703, 1704, 1705, 1706, 1707, 1708, 1709, 1710, 1711, 1712, 1713, 1714, 1715, 1716, 1717, 1718, 1719, 1720, 1721, 1722, 1723, 1724, 1725, 1726, 1727, 1728, 1729, 1730, 1731, 1732, 1733, 1734, 1735, 1736, 1737, 1738, 1739, 1740, 1741, 1742, 1743, 1744, 1745, 1746, 1747, 1748, 1749, 1750, 1751, 1752, 1753, 1754, 1755, 1756, 1757, 1758, 1759, 1760, 1761, 1762, 1763, 1764, 1765, 1766, 1767, 1768, 1769, 1770, 1771, 1772, 1773, 1774, 1775, 1776, 1777, 1778, 1779, 1780, 1781, 1782, 1783, 1784, 1785, 1786, 1787, 1788, 1789, 1790, 1791, 1792, 1793, 1794, 1795, 1796, 1797, 1798, 1799, 1800, 1801, 1802, 1803, 1804, 1805, 1806, 1807, 1808, 1809, 1810, 1811, 1812, 1813, 1814, 1815, 1816, 1817, 1818, 1819, 1820, 1821, 1822, 1823, 1824, 1825, 1826, 1827, 1828, 1829, 1830, 1831, 1832, 1833, 1834, 1835, 1836, 1837, 1838, 1839, 1840, 1841, 1842, 1843, 1844, 1845, 1846, 1847, 1848, 1849, 1850, 1851, 1852, 1853, 1854, 1855, 1856, 1857, 1858, 1859, 1860, 1861, 1862, 1863, 1864, 1865, 1866, 1867, 1868, 1869, 1870, 1871, 1872, 1873, 1874, 1875, 1876, 1877, 1878, 1879, 1880, 1881, 1882, 1883, 1884, 1885, 1886, 1887, 1888, 1889, 1890, 1891, 1892, 1893, 1894, 1895, 1896, 1897, 1898, 1899, 1900, 1901, 1902, 1903, 1904, 1905, 1906, 1907, 1908, 1909, 1910, 1911, 1912, 1913, 1914, 1915, 1916, 1917, 1918, 1919, 1920, 1921, 1922, 1923, 1924, 1925, 1926, 1927, 1928, 1929, 1930, 1931, 1932, 1933, 1934, 1935, 1936, 1937, 1938, 1939, 1940, 1941, 1942, 1943, 1944, 1945, 1946, 1947, 1948, 1949, 1950, 1951, 1952, 1953, 1954, 1955, 1956, 1957, 1958, 1959, 1960, 1961, 1962, 1963, 1964, 1965, 1966, 1967, 1968, 1969, 1970, 1971, 1972, 1973, 1974, 1975, 1976, 1977, 1978, 1979, 1980, 1981, 1982, 1983, 1984, 1985, 1986, 1987, 1988, 1989, 1990, 1991, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024,



# LEGEND

- 1 BED
- 2 BED
- 3 BED
- COMMERCIAL / RETAIL SPACE



**TYP WASTE CHUTE ROOM DETAIL**  
SCALE 1:50

1  
DP1010334

3rd Floor  
Scale 1:100

Rev	Description	Date	Drawn	Checked
A	FOR DA	20.06.2016	NZ	CZ
B	AMENDED FOR DA	16.01.2017	NZ	CZ
C	AMENDED FOR DA	22.05.2017	NZ	CZ

1. All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancy is to be brought to the attention of the designer.  
2. Levels shown are approximate unless accompanied by reduced levels.  
3. Elevation dimensions must be taken in accordance with the drawing.  
4. All boundary dimensions must be verified by the survey prior to commencement of any building work.  
5. Where engineering drawings are required, such as for the foundation, the designer is to be consulted.  
6. All services to be located and verified by the Builder with relevant authorities as to any building work.  
COPYRIGHT  
This design and the associated documents are subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.

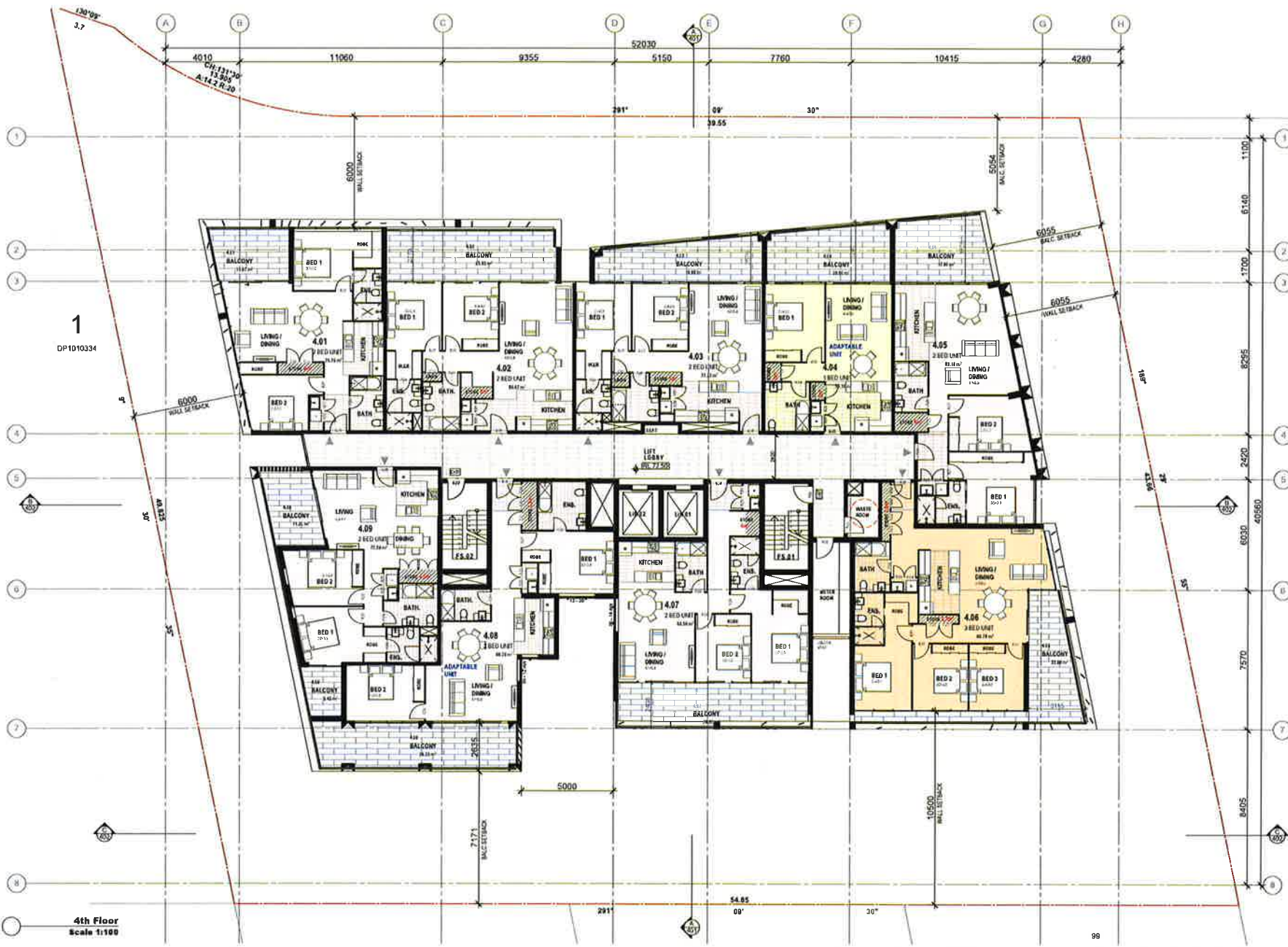


**Design Consultant**  
**villa v**  
ARCHITECTS  
10/11 BATHURST STREET, SYDNEY NSW 2000  
TEL: 02 9251 1111 FAX: 02 9251 1112  
WWW.VILLAVARCHITECTS.COM.AU

**ALGORRY ZAPPIA & ASSOCIATES** Pty Ltd  
Structural Designers & Consulting Civil & Structural Engineers  
Suite 4, Level 1, 84 Bathurst Street, Sydney NSW 2000  
P.O. Box 920, International Business Centre, North Sydney  
Tel: 02 9339 6000 Fax: 02 9339 6003 Email: info@algorryzappia.com.au  
www.algorryzappia.com.au

**Project:** PROPOSED MIXED USE DEVELOPMENT  
Lot 100 in DP1002364 No. 10-14 THIRD AVE, BLACKTOWN  
**Client:** FIVE UNIT PTY/ LTD  
**Drawn:** NZ  
**Checked:** CZ  
**Scale:** A1 Scale 1:100, 1:50, 1:200  
**Project #:** P 4474  
**Sheet #:** A209  
**Date:** AUG 2016  
**Scale:** A1 Scale 1:100, 1:50, 1:200  
**Author:** C

3rd FLOOR PLAN



# LEGEND

- 1 BED
- 2 BED
- 3 BED
- COMMERCIAL / RETAIL SPACE



Rev	Description	Date	Drawn	Checked
A	FOR DA	20.03.2016	NZ	CZ
B	AMENDED FOR DA	16.01.2017	NZ	CZ
C	AMENDED FOR DA	22.05.2017	NZ	CZ

**General Notes**

- All dimensions and floor levels are to be verified by the building owner prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
- Levels shown are approximate unless otherwise specified by the designer.
- Figure dimensions must be taken as per the building owner's requirements.
- All building work must be carried out in accordance with the building owner's requirements.
- Off-site engineering design and construction must be carried out in accordance with the building owner's requirements.
- Structures to be designed for 100% occupancy and 100% occupancy.
- All work to be carried out in accordance with the building owner's requirements.

**COPYRIGHT**  
This design and the associated documents are subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.

**Algorry Zappia & Associates**  
ARCHITECTS

**villa + villa**  
ARCHITECTS

Unit 1, 10-14 Third Ave, Blacktown NSW 2133  
Tel: 02 9647 1000  
Fax: 02 9647 1001  
Email: info@algorryzappia.com.au  
www.algorryzappia.com.au

**ALGORRY ZAPPIA & ASSOCIATES** Pty Ltd  
Building Design & Consulting Civil & Structural Engineers

Unit 1, 10-14 Third Ave, Blacktown NSW 2133  
Tel: 02 9647 1000  
Fax: 02 9647 1001  
Email: info@algorryzappia.com.au  
www.algorryzappia.com.au

**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002584 No. 10-14 THIRD AVE  
BLACKTOWN

Client:  
**FIVE UNIT PTY LTD**

Project #:  
**P 4474**

Scale:  
**1:100, 1:50**

Drawn:  
**NZ**

Checked:  
**CZ**

Date:  
**AUG 2016**

Project #:  
**P 4474**

Scale:  
**1:100, 1:50**

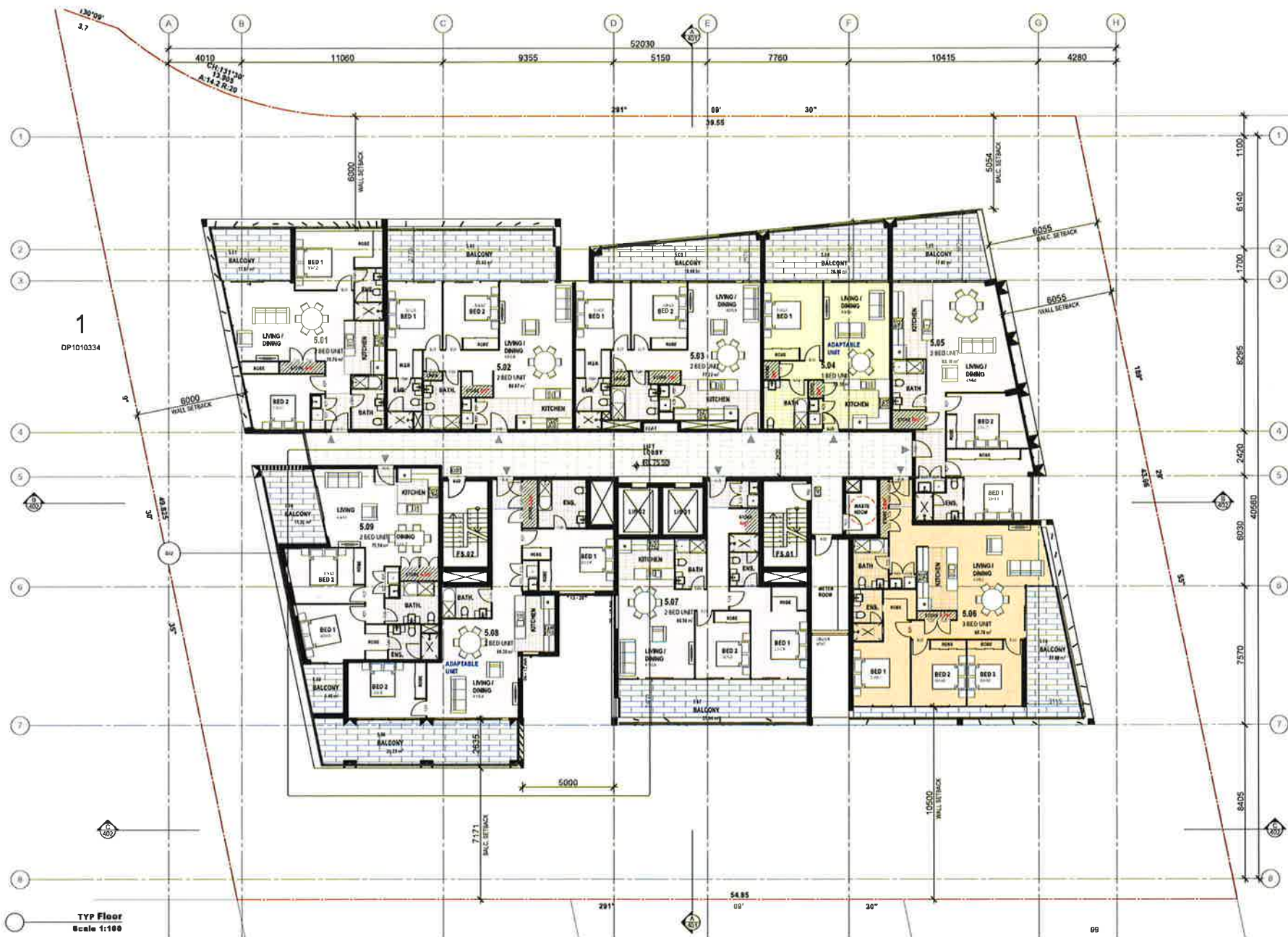
Drawn:  
**NZ**

Checked:  
**CZ**

Date:  
**AUG 2016**

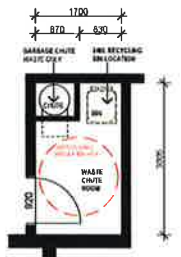
4th FLOOR PLAN





# LEGEND

- 1 BED
- 2BED
- 3 BED
- COMMERCIAL / RETAIL SPACE



Rev	Editor	Date	Drawn	By
A	FOR D.A.	30.09.2016	NZ	CZ
B	AMENDED FOR D.A.	15.01.2017	NZ	CZ
C	AMENDED FOR D.A.	22.05.2017	NZ	CZ

1. All dimensions and floor areas are to be verified by the builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.

2. Levels shown are approximate unless accompanied by a level note.

3. Figure dimensions must be taken in preference to walling.

4. All boundary lines are to be verified by the surveyor prior to commencement of any building work.

5. Where engineering drawings are required such must take precedence to this drawing.

6. Materials to be checked to Council requirements and AS 2900.1:1990.

7. All services to be installed and coordinated by the builder with relevant authorities before any building work commences.

**COMMENTS**  
This drawing and the associated documents are subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.

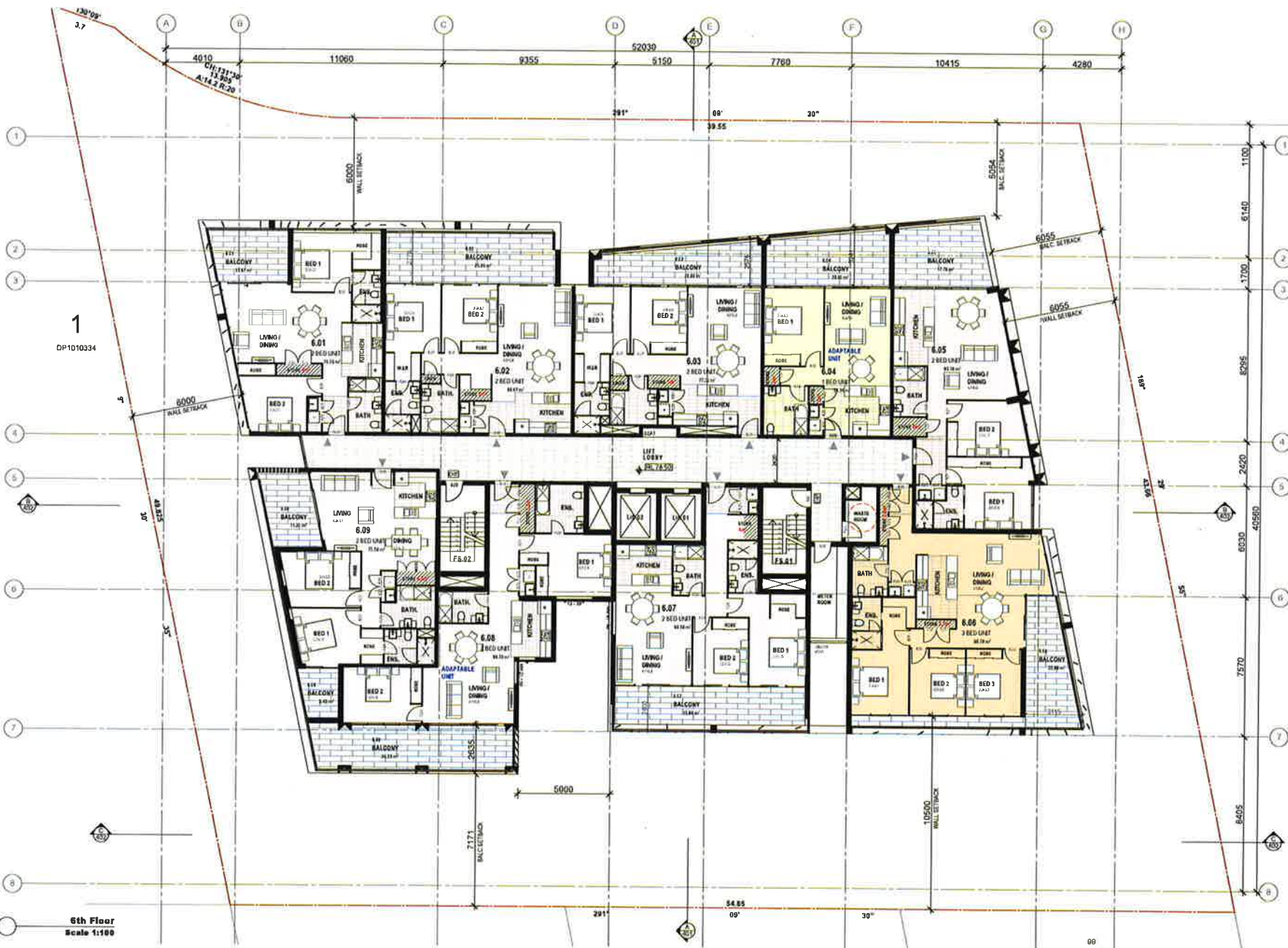


Architect  
**villa + villa**  
architectural interior graphics  
2/51-53 RIVERVIEW ROAD, RIVERVIEW, VIC 3066  
PH: 03 9450 1000 FAX: 03 9450 1001  
WWW.VILLAVILLA.COM.AU

**ALGORRY ZAPPIA & ASSOCIATES** Pty Ltd  
Building Designers & Consulting Civil & Structural Engineers  
Suite 4, Level 1, 84 Bathurst Street, Melbourne, VIC 3000  
P.O. Box 899, Lonsdale Business Centre, NSW 1501  
1. 0800 313170 / 0800 313171 1. 0800 313172  
e. alzy@alzy.com.au  
www.alzy.com.au

Project  
**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002584 No. 10-14 THIRD AVE  
BLACKTOWN  
Client  
**FIVE UNIT PTY LTD**  
File  
**5th FLOOR PLAN**

Drawn	Checked	Date
NZ	CZ	AUG 2016
Author	Rev	Scale
DA	1383-15	1:100, 1:50
Project #	Sheet #	Unit
P 4474	A211	C



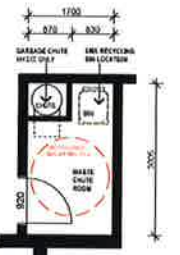
# LEGEND

1 BED

2 BED

3 BED

COMMERCIAL /  
RETAIL SPACE



## TYP WASTE CHUTE ROOM DETAIL

SCALE 1:50

Rev	Description	Date	Drawn	By
A	FOR DA	10/08/2016	MZ	CZ
B	AMENDED FOR DA	10/01/2017	MZ	CZ
C	AMENDED FOR DA	30/05/2017	MZ	CZ

Notes:

- All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancy is to be brought to the attention of the engineer.
- Levels shown are approximate unless accompanied by a detailed grade.
- Approved documents must be taken into consideration to building.
- All boundary lines must be verified by the surveyor prior to commencement of any building work.
- Where engineering drawings are stated, such must be taken into consideration to the drawing.
- Structures to be demolished must be removed and cleared prior to construction.
- All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT  
This design and the associated documents are subject to copyright law and may not be reproduced for any purpose without written consent from Algorry Zappia & Associates Pty Ltd.



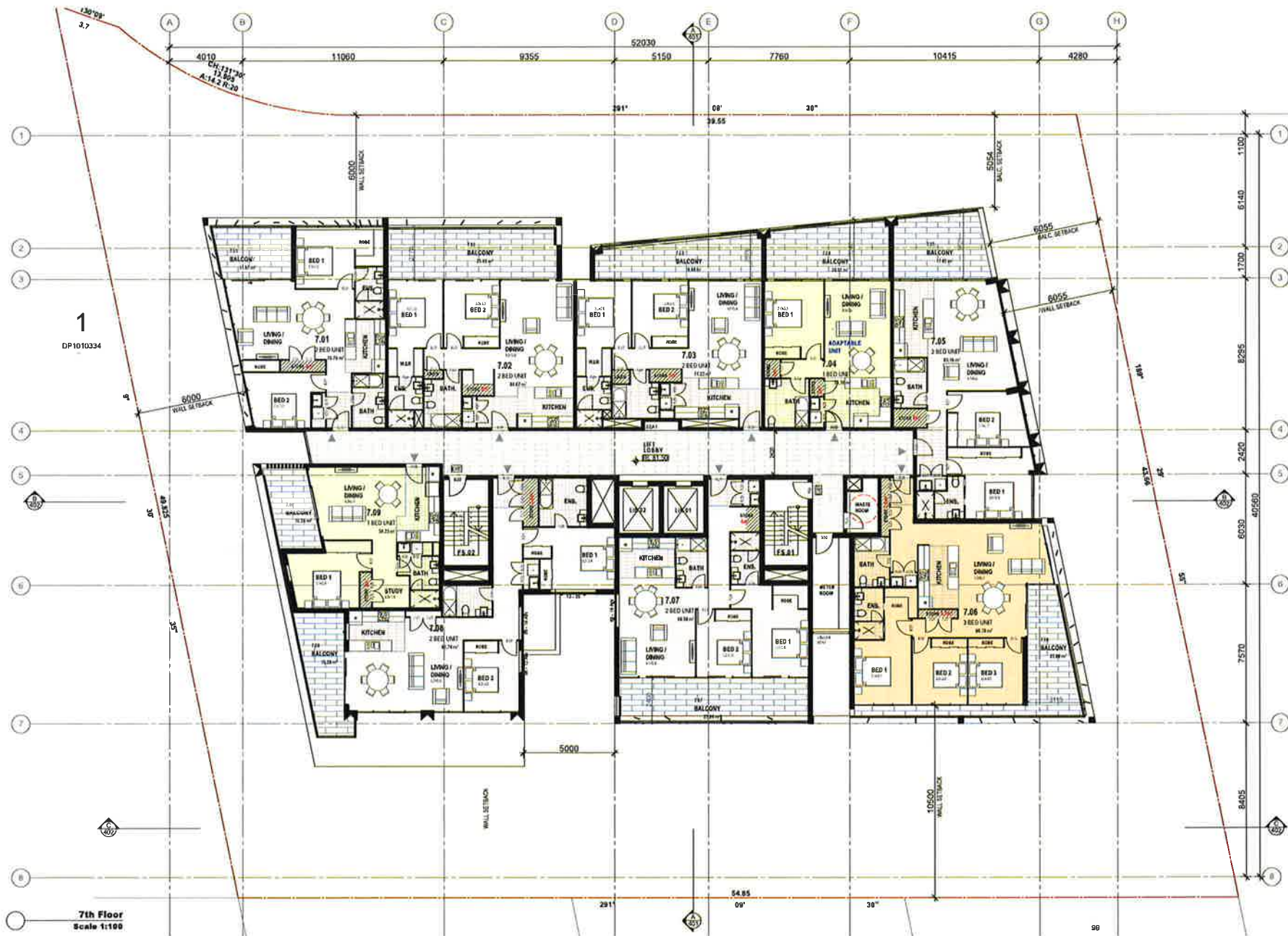
Algorry Zappia & Associates  
**villa @ villa**  
CREATING WITHIN LIMITS  
10-14 THIRD AVE, BLACKTOWN NSW 2147  
TEL: 02 9611 1111  
WWW.ALZAPPIA.COM.AU

**ALGORRY ZAPPIA & ASSOCIATES**  
Building Designers & Consulting Civil & Structural Engineers  
27/11/17  
Scale 1:1000  
10-14 THIRD AVE, BLACKTOWN NSW 2147  
TEL: 02 9611 1111  
WWW.ALZAPPIA.COM.AU

PROPOSED MIXED USE DEVELOPMENT  
Lot 100 in DP1002864 No. 10-14 THIRD AVE  
BLACKTOWN  
FIVE UNIT PTY LTD  
6th FLOOR PLAN

2nd Floor  
N Z  
CZ  
DA  
P 4474  
A212  
C  
13/03/15  
Scale 1:100, 1:50  
AUG 2016





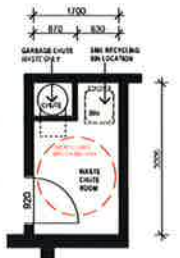
# LEGEND

1 BED

2 BED

3 BED

COMMERCIAL /  
RETAIL SPACE



Rev	Description	Date	Drawn	By
A	FOR D.A.	10/08/2016	NZ	CZ
B	AMENDED FOR D.A.	10/07/2017	NZ	CZ
C	AMENDED FOR D.A.	03/05/2017	NZ	CZ

**Client Notes**

- All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the Designer.
- Levels shown are spot levels unless otherwise indicated by the Designer.
- Figure dimensions must be taken in preference to levels.
- All building work must be completed by the Builder prior to the commencement of any building work.
- Where engineering drawings are required such as structural drawings, the Designer is to be consulted for the location of the building.
- Where engineering drawings are required such as structural drawings, the Designer is to be consulted for the location of the building.
- All dimensions to be checked and verified by the Builder with reference to the drawings before any building work commences.

**Comments**

This drawing and any associated documents are subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.



**Architects**  
**villa + villa**  
architectural studios + interiors  
2/21-2/22-2/23-2/24-2/25-2/26-2/27-2/28-2/29-2/30-2/31-2/32-2/33-2/34-2/35-2/36-2/37-2/38-2/39-2/40-2/41-2/42-2/43-2/44-2/45-2/46-2/47-2/48-2/49-2/50-2/51-2/52-2/53-2/54-2/55-2/56-2/57-2/58-2/59-2/60-2/61-2/62-2/63-2/64-2/65-2/66-2/67-2/68-2/69-2/70-2/71-2/72-2/73-2/74-2/75-2/76-2/77-2/78-2/79-2/80-2/81-2/82-2/83-2/84-2/85-2/86-2/87-2/88-2/89-2/90-2/91-2/92-2/93-2/94-2/95-2/96-2/97-2/98-2/99-2/100-2/101-2/102-2/103-2/104-2/105-2/106-2/107-2/108-2/109-2/110-2/111-2/112-2/113-2/114-2/115-2/116-2/117-2/118-2/119-2/120-2/121-2/122-2/123-2/124-2/125-2/126-2/127-2/128-2/129-2/130-2/131-2/132-2/133-2/134-2/135-2/136-2/137-2/138-2/139-2/140-2/141-2/142-2/143-2/144-2/145-2/146-2/147-2/148-2/149-2/150-2/151-2/152-2/153-2/154-2/155-2/156-2/157-2/158-2/159-2/160-2/161-2/162-2/163-2/164-2/165-2/166-2/167-2/168-2/169-2/170-2/171-2/172-2/173-2/174-2/175-2/176-2/177-2/178-2/179-2/180-2/181-2/182-2/183-2/184-2/185-2/186-2/187-2/188-2/189-2/190-2/191-2/192-2/193-2/194-2/195-2/196-2/197-2/198-2/199-2/200-2/201-2/202-2/203-2/204-2/205-2/206-2/207-2/208-2/209-2/210-2/211-2/212-2/213-2/214-2/215-2/216-2/217-2/218-2/219-2/220-2/221-2/222-2/223-2/224-2/225-2/226-2/227-2/228-2/229-2/230-2/231-2/232-2/233-2/234-2/235-2/236-2/237-2/238-2/239-2/240-2/241-2/242-2/243-2/244-2/245-2/246-2/247-2/248-2/249-2/250-2/251-2/252-2/253-2/254-2/255-2/256-2/257-2/258-2/259-2/260-2/261-2/262-2/263-2/264-2/265-2/266-2/267-2/268-2/269-2/270-2/271-2/272-2/273-2/274-2/275-2/276-2/277-2/278-2/279-2/280-2/281-2/282-2/283-2/284-2/285-2/286-2/287-2/288-2/289-2/290-2/291-2/292-2/293-2/294-2/295-2/296-2/297-2/298-2/299-2/300-2/301-2/302-2/303-2/304-2/305-2/306-2/307-2/308-2/309-2/310-2/311-2/312-2/313-2/314-2/315-2/316-2/317-2/318-2/319-2/320-2/321-2/322-2/323-2/324-2/325-2/326-2/327-2/328-2/329-2/330-2/331-2/332-2/333-2/334-2/335-2/336-2/337-2/338-2/339-2/340-2/341-2/342-2/343-2/344-2/345-2/346-2/347-2/348-2/349-2/350-2/351-2/352-2/353-2/354-2/355-2/356-2/357-2/358-2/359-2/360-2/361-2/362-2/363-2/364-2/365-2/366-2/367-2/368-2/369-2/370-2/371-2/372-2/373-2/374-2/375-2/376-2/377-2/378-2/379-2/380-2/381-2/382-2/383-2/384-2/385-2/386-2/387-2/388-2/389-2/390-2/391-2/392-2/393-2/394-2/395-2/396-2/397-2/398-2/399-2/400-2/401-2/402-2/403-2/404-2/405-2/406-2/407-2/408-2/409-2/410-2/411-2/412-2/413-2/414-2/415-2/416-2/417-2/418-2/419-2/420-2/421-2/422-2/423-2/424-2/425-2/426-2/427-2/428-2/429-2/430-2/431-2/432-2/433-2/434-2/435-2/436-2/437-2/438-2/439-2/440-2/441-2/442-2/443-2/444-2/445-2/446-2/447-2/448-2/449-2/450-2/451-2/452-2/453-2/454-2/455-2/456-2/457-2/458-2/459-2/460-2/461-2/462-2/463-2/464-2/465-2/466-2/467-2/468-2/469-2/470-2/471-2/472-2/473-2/474-2/475-2/476-2/477-2/478-2/479-2/480-2/481-2/482-2/483-2/484-2/485-2/486-2/487-2/488-2/489-2/490-2/491-2/492-2/493-2/494-2/495-2/496-2/497-2/498-2/499-2/500-2/501-2/502-2/503-2/504-2/505-2/506-2/507-2/508-2/509-2/510-2/511-2/512-2/513-2/514-2/515-2/516-2/517-2/518-2/519-2/520-2/521-2/522-2/523-2/524-2/525-2/526-2/527-2/528-2/529-2/530-2/531-2/532-2/533-2/534-2/535-2/536-2/537-2/538-2/539-2/540-2/541-2/542-2/543-2/544-2/545-2/546-2/547-2/548-2/549-2/550-2/551-2/552-2/553-2/554-2/555-2/556-2/557-2/558-2/559-2/560-2/561-2/562-2/563-2/564-2/565-2/566-2/567-2/568-2/569-2/570-2/571-2/572-2/573-2/574-2/575-2/576-2/577-2/578-2/579-2/580-2/581-2/582-2/583-2/584-2/585-2/586-2/587-2/588-2/589-2/590-2/591-2/592-2/593-2/594-2/595-2/596-2/597-2/598-2/599-2/600-2/601-2/602-2/603-2/604-2/605-2/606-2/607-2/608-2/609-2/610-2/611-2/612-2/613-2/614-2/615-2/616-2/617-2/618-2/619-2/620-2/621-2/622-2/623-2/624-2/625-2/626-2/627-2/628-2/629-2/630-2/631-2/632-2/633-2/634-2/635-2/636-2/637-2/638-2/639-2/640-2/641-2/642-2/643-2/644-2/645-2/646-2/647-2/648-2/649-2/650-2/651-2/652-2/653-2/654-2/655-2/656-2/657-2/658-2/659-2/660-2/661-2/662-2/663-2/664-2/665-2/666-2/667-2/668-2/669-2/670-2/671-2/672-2/673-2/674-2/675-2/676-2/677-2/678-2/679-2/680-2/681-2/682-2/683-2/684-2/685-2/686-2/687-2/688-2/689-2/690-2/691-2/692-2/693-2/694-2/695-2/696-2/697-2/698-2/699-2/700-2/701-2/702-2/703-2/704-2/705-2/706-2/707-2/708-2/709-2/710-2/711-2/712-2/713-2/714-2/715-2/716-2/717-2/718-2/719-2/720-2/721-2/722-2/723-2/724-2/725-2/726-2/727-2/728-2/729-2/730-2/731-2/732-2/733-2/734-2/735-2/736-2/737-2/738-2/739-2/740-2/741-2/742-2/743-2/744-2/745-2/746-2/747-2/748-2/749-2/750-2/751-2/752-2/753-2/754-2/755-2/756-2/757-2/758-2/759-2/760-2/761-2/762-2/763-2/764-2/765-2/766-2/767-2/768-2/769-2/770-2/771-2/772-2/773-2/774-2/775-2/776-2/777-2/778-2/779-2/780-2/781-2/782-2/783-2/784-2/785-2/786-2/787-2/788-2/789-2/790-2/791-2/792-2/793-2/794-2/795-2/796-2/797-2/798-2/799-2/800-2/801-2/802-2/803-2/804-2/805-2/806-2/807-2/808-2/809-2/810-2/811-2/812-2/813-2/814-2/815-2/816-2/817-2/818-2/819-2/820-2/821-2/822-2/823-2/824-2/825-2/826-2/827-2/828-2/829-2/830-2/831-2/832-2/833-2/834-2/835-2/836-2/837-2/838-2/839-2/840-2/841-2/842-2/843-2/844-2/845-2/846-2/847-2/848-2/849-2/850-2/851-2/852-2/853-2/854-2/855-2/856-2/857-2/858-2/859-2/860-2/861-2/862-2/863-2/864-2/865-2/866-2/867-2/868-2/869-2/870-2/871-2/872-2/873-2/874-2/875-2/876-2/877-2/878-2/879-2/880-2/881-2/882-2/883-2/884-2/885-2/886-2/887-2/888-2/889-2/890-2/891-2/892-2/893-2/894-2/895-2/896-2/897-2/898-2/899-2/900-2/901-2/902-2/903-2/904-2/905-2/906-2/907-2/908-2/909-2/910-2/911-2/912-2/913-2/914-2/915-2/916-2/917-2/918-2/919-2/920-2/921-2/922-2/923-2/924-2/925-2/926-2/927-2/928-2/929-2/930-2/931-2/932-2/933-2/934-2/935-2/936-2/937-2/938-2/939-2/940-2/941-2/942-2/943-2/944-2/945-2/946-2/947-2/948-2/949-2/950-2/951-2/952-2/953-2/954-2/955-2/956-2/957-2/958-2/959-2/960-2/961-2/962-2/963-2/964-2/965-2/966-2/967-2/968-2/969-2/970-2/971-2/972-2/973-2/974-2/975-2/976-2/977-2/978-2/979-2/980-2/981-2/982-2/983-2/984-2/985-2/986-2/987-2/988-2/989-2/990-2/991-2/992-2/993-2/994-2/995-2/996-2/997-2/998-2/999-2/1000-2/1001-2/1002-2/1003-2/1004-2/1005-2/1006-2/1007-2/1008-2/1009-2/1010-2/1011-2/1012-2/1013-2/1014-2/1015-2/1016-2/1017-2/1018-2/1019-2/1020-2/1021-2/1022-2/1023-2/1024-2/1025-2/1026-2/1027-2/1028-2/1029-2/1030-2/1031-2/1032-2/1033-2/1034-2/1035-2/1036-2/1037-2/1038-2/1039-2/1040-2/1041-2/1042-2/1043-2/1044-2/1045-2/1046-2/1047-2/1048-2/1049-2/1050-2/1051-2/1052-2/1053-2/1054-2/1055-2/1056-2/1057-2/1058-2/1059-2/1060-2/1061-2/1062-2/1063-2/1064-2/1065-2/1066-2/1067-2/1068-2/1069-2/1070-2/1071-2/1072-2/1073-2/1074-2/1075-2/1076-2/1077-2/1078-2/1079-2/1080-2/1081-2/1082-2/1083-2/1084-2/1085-2/1086-2/1087-2/1088-2/1089-2/1090-2/1091-2/1092-2/1093-2/1094-2/1095-2/1096-2/1097-2/1098-2/1099-2/1100-2/1101-2/1102-2/1103-2/1104-2/1105-2/1106-2/1107-2/1108-2/1109-2/1110-2/1111-2/1112-2/1113-2/1114-2/1115-2/1116-2/1117-2/1118-2/1119-2/1120-2/1121-2/1122-2/1123-2/1124-2/1125-2/1126-2/1127-2/1128-2/1129-2/1130-2/1131-2/1132-2/1133-2/1134-2/1135-2/1136-2/1137-2/1138-2/1139-2/1140-2/1141-2/1142-2/1143-2/1144-2/1145-2/1146-2/1147-2/1148-2/1149-2/1150-2/1151-2/1152-2/1153-2/1154-2/1155-2/1156-2/1157-2/1158-2/1159-2/1160-2/1161-2/1162-2/1163-2/1164-2/1165-2/1166-2/1167-2/1168-2/1169-2/1170-2/1171-2/1172-2/1173-2/1174-2/1175-2/1176-2/1177-2/1178-2/1179-2/1180-2/1181-2/1182-2/1183-2/1184-2/1185-2/1186-2/1187-2/1188-2/1189-2/1190-2/1191-2/1192-2/1193-2/1194-2/1195-2/1196-2/1197-2/1198-2/1199-2/1200-2/1201-2/1202-2/1203-2/1204-2/1205-2/1206-2/1207-2/1208-2/1209-2/1210-2/1211-2/1212-2/1213-2/1214-2/1215-2/1216-2/1217-2/1218-2/1219-2/1220-2/1221-2/1222-2/1223-2/1224-2/1225-2/1226-2/1227-2/1228-2/1229-2/1230-2/1231-2/1232-2/1233-2/1234-2/1235-2/1236-2/1237-2/1238-2/1239-2/1240-2/1241-2/1242-2/1243-2/1244-2/1245-2/1246-2/1247-2/1248-2/1249-2/1250-2/1251-2/1252-2/1253-2/1254-2/1255-2/1256-2/1257-2/1258-2/1259-2/1260-2/1261-2/1262-2/1263-2/1264-2/1265-2/1266-2/1267-2/1268-2/1269-2/1270-2/1271-2/1272-2/1273-2/1274-2/1275-2/1276-2/1277-2/1278-2/1279-2/1280-2/1281-2/1282-2/1283-2/1284-2/1285-2/1286-2/1287-2/1288-2/1289-2/1290-2/1291-2/1292-2/1293-2/1294-2/1295-2/1296-2/1297-2/1298-2/1299-2/1300-2/1301-2/1302-2/1303-2/1304-2/1305-2/1306-2/1307-2/1308-2/1309-2/1310-2/1311-2/1312-2/1313-2/1314-2/1315-2/1316-2/1317-2/1318-2/1319-2/1320-2/1321-2/1322-2/1323-2/1324-2/1325-2/1326-2/1327-2/1328-2/1329-2/1330-2/1331-2/1332-2/1333-2/1334-2/1335-2/1336-2/1337-2/1338-2/1339-2/1340-2/1341-2/1342-2/1343-2/1344-2/1345-2/1346-2/1347-2/1348-2/1349-2/1350-2/1351-2/1352-2/1353-2/1354-2/1355-2/1356-2/1357-2/1358-2/1359-2/1360-2/1361-2/1362-2/1363-2/1364-2/1365-2/1366-2/1367-2/1368-2/1369-2/1370-2/1371-2/1372-2/1373-2/1374-2/1375-2/1376-2/1377-2/1378-2/1379-2/1380-2/1381-2/1382-2/1383-2/1384-2/1385-2/1386-2/1387-2/1388-2/1389-2/1390-2/1391-2/1392-2/1393-2/1394-2/1395-2/1396-2/1397-2/1398-2/1399-2/1400-2/1401-2/1402-2/1403-2/1404-2/1405-2/1406-2/1407-2/1408-2/1409-2/1410-2/1411-2/1412-2/1413-2/1414-2/1415-2/1416-2/1417-2/1418-2/1419-2/1420-2/1421-2/1422-2/1423-2/1424-2/1425-2/1426-2/1427-2/1428-2/1429-2/1430-2/1431-2/1432-2/1433-2/1434-2/1435-2/1436-2/1437-2/1438-2/1439-2/1440-2/1441-2/1442-2/1443-2/1444-2/1445-2/1446-2/1447-2/1448-2/1449-2/1450-2/1451-2/1452-2/1453-2/1454-2/1455-2/1456-2/1457-2/1458-2/1459-2/1460-2/1461-2/1462-2/1463-2/1464-2/1465-2/1466-2/1467-2/1468-2/1469-2/1470-2/1471-2/1472-2/1473-2/1474-2/1475-2/1476-2/1477-2/1478-2/1479-2/1480-2/1481-2/1482-2/1483-2/1484-2/1485-2/1486-2/1487-2/1488-2/1489-2/1490-2/1491-2/1492-2/1493-2/1494-2/1495-2/1496-2/1497-2/1498-2/1499-2/1500-2/1501-2/1502-2/1503-2/1504-2/1505-2/1506-2/1507-2/1508-2/1509-2/1510-2/1511-2/1512-2/1513-2/1514-2/1515-2/1516-2/1517-2/1518-2/1519-2/1520-2/1521-2/1522-2/1523-2/1524-2/1525-2/1526-2/1527-2/1528-2/1529-2/1530-2/1531-2/1532-2/1533-2/1534-2/1535-2/1536-2/1537-2/1538-2/1539-2/1540-2/1541-2/1542-2/1543-2/1544-2/1545-2/1546-2/1547-2/1548-2/1549-2/1550-2/1551-2/1552-2/1553-2/1554-2/1555-2/1556-2/1557-2/1558-2/1559-2/1560-2/1561-2/1562-2/1563-2/1564-2/1565-2/1566-2/1567-2/1568-2/1569-2/1570-2/1571-2/1572-2/1573-2/1574-2/1575-2/1576-2/1577-2/1578-2/1579-2/1580-2/1581-2/1582-2/1583-2/1584-2/1585-2/1586-2/1587-2/1588-2/1589-2/1590-2/1591-2/1592-2/1593-2/1594-2/1595-2/1596-2/1597-2/1598-2/1599-2/1600-2/1601-2/1602-2/1603-2/1604-2/1605-2/1606-2/1607-2/1608-2/1609-2/1610-2/1611-2/1612-2/1613-2/1614-2/1615-2/1616-2/1617-2/1618-2/1619-2/1620-2/1621-2/1622-2/1623-2/1624-2/1625-2/1626-2/1627-2/1628-2/1629-2/1630-2/1631-2/1632-2/1633-2/1634-2/1635-2/1636-2/1637-2/1638-2/1639-2/1640-2/1641-2/1642-2/1643-2/1644-2/1645-2/1646-2/1647-2/1648-2/1649-2/1650-2/1651-2/1652-2/1653-2/1654-2/1655-2/1656-2/1657-2/1658-2/1659-2/1660-2/1661-2/1662-2/1663-2/1664-2/1665-2/1666-2/1667-2/1668-2/1669-2/1670-2/1671-2/1672-2/1673-2/1674-2/1675-2/1676-2/1677-2/1678-2/1679-2/1680-2/1681-2/1682-2/1683-2/1684-2/1685-2/1686-2/1687-2/1688-2/1689-2/1690-2/1691-2/1692-2/1693-2/1694-2/1695-2/1696-2/1697-2/1698-2/1699-2/1700-2/1701-2/1702-2/1703-2/1704-2/1705-2/1706-2/1707-2/1708-2/1709-2/1710-2/1711-2/1712-2/1713-2/1714-2/1715-2/1716-2/1717-2/1718-2/1719-2/1720-2/1721-2/1722-2/1723-2/1724-2/1725-2/1726-2/1727-2/1728-2/1729-2/1730-2/1731-2/1732-2/1733-2/1734-2/1735-2/1736-2/1737-2/1738-2/1739-2/1740-2/1741-2/1742-2/1743-2/1744-2/1745-2/1746-2/1747-2/1748-2/1749-2/1750-2/1751-2/1752-2/1753-2/1754-2/1755-2/1756-2/1757-2/1758-2/1759-2/1760-2/1761-2/1762-2/1763-2/1764-2/1765-2/1766-2/1767-2/1768-2/1769-2/1770-2/1771-2/1772-2/1773-2/1774-2/1775-2/1776-2/1777-2/1778-2/1779-2/1780-2/1781-2/1782-2/1783-2/1784-2/1785-2/1786-2/1787-2/1788-2/1789-2/1790-2/1791-2/1792-2/1793-2/1794-2/1795-



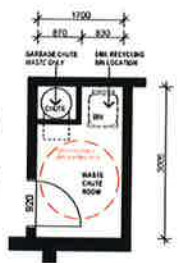
# LEGEND

1 BED

2 BED

3 BED

COMMERCIAL /  
RETAIL SPACE



## TYP WASTE CHUTE ROOM DETAIL SCALE 1:50

8th Floor  
Scale 1:100

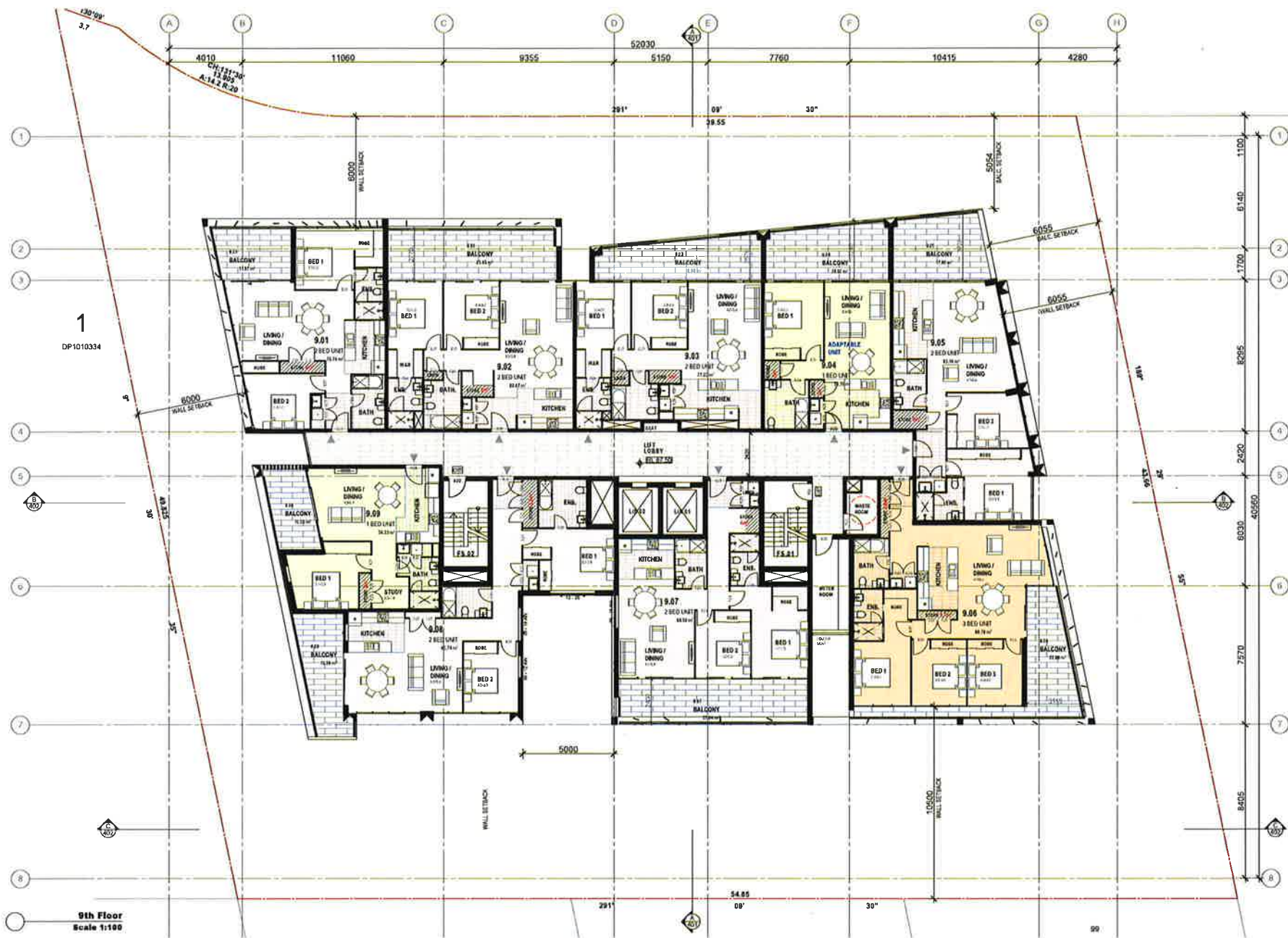
Rev	Description	Date	Drawn	Checked
A	FOR D.A.	20 08 2016	NZ	CZ
B	AMENDED FOR D.A.	16 01 2017	NZ	CZ
C	AMENDED FOR D.A.	20 05 2017	NZ	CZ

General Notes  
1. All dimensions and floor levels are to be verified by the Builder prior to the commencement of any building work. Any discrepancy is to be brought to the attention of the Designer.  
2. Levels shown are approximate unless accompanied by reduced levels.  
3. All dimensions must be taken as per the drawing.  
4. All building work must be carried out in accordance with the Building Code of New Zealand.  
5. Where engineering drawings are required, such must be submitted to the Designer.  
6. Room areas are to be determined by the Designer's measurements and are not to be used for any other purpose.  
7. All areas to be finished and verified by the Builder prior to the commencement of any building work.  
8. All areas to be finished and verified by the Builder prior to the commencement of any building work.



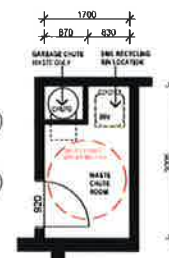
Architect  
**villa villa**  
architects interior designers  
101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000/1001/1002/1003/1004/1005/1006/1007/1008/1009/1010/1011/1012/1013/1014/1015/1016/1017/1018/1019/1020/1021/1022/1023/1024/1025/1026/1027/1028/1029/1030/1031/1032/1033/1034/1035/1036/1037/1038/1039/1040/1041/1042/1043/1044/1045/1046/1047/1048/1049/1050/1051/1052/1053/1054/1055/1056/1057/1058/1059/1060/1061/1062/1063/1064/1065/1066/1067/1068/1069/1070/1071/1072/1073/1074/1075/1076/1077/1078/1079/1080/1081/1082/1083/1084/1085/1086/1087/1088/1089/1090/1091/1092/1093/1094/1095/1096/1097/1098/1099/1100/1101/1102/1103/1104/1105/1106/1107/1108/1109/1110/1111/1112/1113/1114/1115/1116/1117/1118/1119/1120/1121/1122/1123/1124/1125/1126/1127/1128/1129/1130/1131/1132/1133/1134/1135/1136/1137/1138/1139/1140/1141/1142/1143/1144/1145/1146/1147/1148/1149/1150/1151/1152/1153/1154/1155/1156/1157/1158/1159/1160/1161/1162/1163/1164/1165/1166/1167/1168/1169/1170/1171/1172/1173/1174/1175/1176/1177/1178/1179/1180/1181/1182/1183/1184/1185/1186/1187/1188/1189/1190/1191/1192/1193/1194/1195/1196/1197/1198/1199/1200/1201/1202/1203/1204/1205/1206/1207/1208/1209/1210/1211/1212/1213/1214/1215/1216/1217/1218/1219/1220/1221/1222/1223/1224/1225/1226/1227/1228/1229/1230/1231/1232/1233/1234/1235/1236/1237/1238/1239/1240/1241/1242/1243/1244/1245/1246/1247/1248/1249/1250/1251/1252/1253/1254/1255/1256/1257/1258/1259/1260/1261/1262/1263/1264/1265/1266/1267/1268/1269/1270/1271/1272/1273/1274/1275/1276/1277/1278/1279/1280/1281/1282/1283/1284/1285/1286/1287/1288/1289/1290/1291/1292/1293/1294/1295/1296/1297/1298/1299/1300/1301/1302/1303/1304/1305/1306/1307/1308/1309/1310/1311/1312/1313/1314/1315/1316/1317/1318/1319/1320/1321/1322/1323/1324/1325/1326/1327/1328/1329/1330/1331/1332/1333/1334/1335/1336/1337/1338/1339/1340/1341/1342/1343/1344/1345/1346/1347/1348/1349/1350/1351/1352/1353/1354/1355/1356/1357/1358/1359/1360/1361/1362/1363/1364/1365/1366/1367/1368/1369/1370/1371/1372/1373/1374/1375/1376/1377/1378/1379/1380/1381/1382/1383/1384/1385/1386/1387/1388/1389/1390/1391/1392/1393/1394/1395/1396/1397/1398/1399/1400/1401/1402/1403/1404/1405/1406/1407/1408/1409/1410/1411/1412/1413/1414/1415/1416/1417/1418/1419/1420/1421/1422/1423/1424/1425/1426/1427/1428/1429/1430/1431/1432/1433/1434/1435/1436/1437/1438/1439/1440/1441/1442/1443/1444/1445/1446/1447/1448/1449/1450/1451/1452/1453/1454/1455/1456/1457/1458/1459/1460/1461/1462/1463/1464/1465/1466/1467/1468/1469/1470/1471/1472/1473/1474/1475/1476/1477/1478/1479/1480/1481/1482/1483/1484/1485/1486/1487/1488/1489/1490/1491/1492/1493/1494/1495/1496/1497/1498/1499/1500/1501/1502/1503/1504/1505/1506/1507/1508/1509/1510/1511/1512/1513/1514/1515/1516/1517/1518/1519/1520/1521/1522/1523/1524/1525/1526/1527/1528/1529/1530/1531/1532/1533/1534/1535/1536/1537/1538/1539/1540/1541/1542/1543/1544/1545/1546/1547/1548/1549/1550/1551/1552/1553/1554/1555/1556/1557/1558/1559/1560/1561/1562/1563/1564/1565/1566/1567/1568/1569/1570/1571/1572/1573/1574/1575/1576/1577/1578/1579/1580/1581/1582/1583/1584/1585/1586/1587/1588/1589/1590/1591/1592/1593/1594/1595/1596/1597/1598/1599/1600/1601/1602/1603/1604/1605/1606/1607/1608/1609/1610/1611/1612/1613/1614/1615/1616/1617/1618/1619/1620/1621/1622/1623/1624/1625/1626/1627/1628/1629/1630/1631/1632/1633/1634/1635/1636/1637/1638/1639/1640/1641/1642/1643/1644/1645/1646/1647/1648/1649/1650/1651/1652/1653/1654/1655/1656/1657/1658/1659/1660/1661/1662/1663/1664/1665/1666/1667/1668/1669/1670/1671/1672/1673/1674/1675/1676/1677/1678/1679/1680/1681/1682/1683/1684/1685/1686/1687/1688/1689/1690/1691/1692/1693/1694/1695/1696/1697/1698/1699/1700/1701/1702/1703/1704/1705/1706/1707/1708/1709/1710/1711/1712/1713/1714/1715/1716/1717/1718/1719/1720/1721/1722/1723/1724/1725/1726/1727/1728/1729/1730/1731/1732/1733/1734/1735/1736/1737/1738/1739/1740/1741/1742/1743/1744/1745/1746/1747/1748/1749/1750/1751/1752/1753/1754/1755/1756/1757/1758/1759/1760/1761/1762/1763/1764/1765/1766/1767/1768/1769/1770/1771/1772/1773/1774/1775/1776/1777/1778/1779/1780/1781/1782/1783/1784/1785/1786/1787/1788/1789/1790/1791/1792/1793/1794/1795/1796/1797/1798/1799/1800/1801/1802/1803/1804/1805/1806/1807/1808/1809/1810/1811/1812/1813/1814/1815/1816/1817/1818/1819/1820/1821/1822/1823/1824/1825/1826/1827/1828/1829/1830/1831/1832/1833/1834/1835/1836/1837/1838/1839/1840/1841/1842/1843/1844/1845/1846/1847/1848/1849/1850/1851/1852/1853/1854/1855/1856/1857/1858/1859/1860/1861/1862/1863/1864/1865/1866/1867/1868/1869/1870/1871/1872/1873/1874/1875/1876/1877/1878/1879/1880/1881/1882/1883/1884/1885/1886/1887/1888/1889/1890/1891/1892/1893/1894/1895/1896/1897/1898/1899/1900/1901/1902/1903/1904/1905/1906/1907/1908/1909/1910/1911/1912/1913/1914/1915/1916/1917/1918/1919/1920/1921/1922/1923/1924/1925/1926/1927/1928/1929/1930/1931/1932/1933/1934/1935/1936/1937/1938/1939/1940/1941/1942/1943/1944/1945/1946/1947/1948/1949/1950/1951/1952/1953/1954/1955/1956/1957/1958/1959/1960/1961/1962/1963/1964/1965/1966/1967/1968/1969/1970/1971/1972/1973/1974/1975/1976/1977/1978/1979/1980/1981/1982/1983/1984/1985/1986/1987/1988/1989/1990/1991/1992/1993/1994/1995/1996/1997/1998/1999/2000/2001/2002/2003/2004/2005/2006/2007/2008/2009/2010/2011/2012/2013/2014/2015/2016/2017/2018/2019/2020/2021/2022/2023/2024/2025/2026/2027/2028/2029/2030/2031/2032/2033/2034/2035/2036/2037/2038/2039/2040/2041/2042/2043/2044/2045/2046/2047/2048/2049/2050/2051/2052/2053/2054/2055/2056/2057/2058/2059/2060/2061/2062/2063/2064/2065/2066/2067/2068/2069/2070/2071/2072/2073/2074/2075/2076/2077/2078/2079/2080/2081/2082/2083/2084/2085/2086/2087/2088/2089/2090/2091/2092/2093/2094/2095/2096/2097/2098/2099/2100/2101/2102/2103/2104/2105/2106/2107/2108/2109/2110/2111/2112/2113/2114/2115/2116/2117/2118/2119/2120/2121/2122/2123/2124/2125/2126/2127/2128/2129/2130/2131/2132/2133/2134/2135/2136/2137/2138/2139/2140/2141/2142/2143/2144/2145/2146/2147/2148/2149/2150/2151/2152/2153/2154/2155/2156/2157/2158/2159/2160/2161/2162/2163/2164/2165/2166/2167/2168/2169/2170/2171/2172/2173/2174/2175/2176/2177/2178/2179/2180/2181/2182/2183/2184/2185/2186/2187/2188/2189/2190/2191/2192/2193/2194/2195/2196/2197/2198/2199/2200/2201/2202/2203/2204/2205/2206/2207/2208/2209/2210/2211/2212/2213/2214/2215/2216/2217/2218/2219/2220/2221/2222/2223/2224/2225/2226/2227/2228/2229/2230/2231/2232/2233/2234/2235/2236/2237/2238/2239/2240/2241/2242/2243/2244/2245/2246/2247/2248/2249/2250/2251/2252/2253/2254/2255/2256/2257/2258/2259/2260/2261/2262/2263/2264/2265/2266/2267/2268/2269/2270/2271/2272/2273/2274/2275/2276/2277/2278/2279/2280/2281/2282/2283/2284/2285/2286/2287/2288/2289/2290/2291/2292/2293/2294/2295/2296/2297/2298/2299/2300/2301/2302/2303/2304/2305/2306/2307/2308/2309/2310/2311/2312/2313/2314/2315/2316/2317/2318/2319/2320/2321/2322/2323/2324/2325/2326/2327/2328/2329/2330/2331/2332/2333/2334/2335/2336/2337/2338/2339/2340/2341/2342/2343/2344/2345/2346/2347/2348/2349/2350/2351/2352/2353/2354/2355/2356/2357/2358/2359/2360/2361/2362/2363/2364/2365/2366/2367/2368/2369/2370/2371/2372/2373/2374/2375/2376/2377/2378/2379/2380/2381/2382/2383/2384/2385/2386/2387/2388/2389/2390/2391/2392/2393/2394/2395/2396/2397/2398/2399/2400/2401/2402/2403/2404/2405/2406/2407/2408/2409/2410/2411/2412/2413/2414/2415/2416/2417/2418/2419/2420/2421/2422/2423/2424/2425/2426/2427/2428/2429/2430/2431/2432/2433/2434/2435/2436/2437/2438/2439/2440/2441/2442/2443/2444/2445/2446/2447/2448/2449/2450/2451/2452/2453/2454/2455/2456/2457/2458/2459/2460/2461/2462/2463/2464/2465/2466/2467/2468/2469/2470/2471/2472/2473/2474/2475/2476/2477/2478/2479/2480/2481/2482/2483/2484/2485/2486/2487/2488/2489/2490/2491/2492/2493/2494/2495/2496/2497/2498/2499/2500/2501/2502/2503/2504/2505/2506/2507/2508/2509/2510/2511/2512/2513/2514/2515/2516/2517/2518/2519/2520/2521/2522/2523/2524/2525/2526/2527/2528/2529/2530/2531/2532/2533/2534/2535/2536/2537/





# LEGEND

- 1 BED
- 2 BED
- 3 BED
- COMMERCIAL / RETAIL SPACE

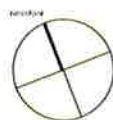


Rev	Description	Date	Drawn	Checked
A	FOR D.A.	20.09.2016	N.Z.	C.Z.
B	AMENDED FOR D.A.	16.01.2017	N.Z.	C.Z.
C	AMENDED FOR D.A.	22.05.2017	N.Z.	C.Z.

Notes:

- All dimensions and floor levels are to be verified by the builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
- Levels shown are approximate unless otherwise indicated by the designer.
- Approved dimensions must be shown in parentheses in writing.
- All boundary lines are to be verified by the builder prior to commencement of any building work.
- Where engineering drawings are required, such must be provided to the designer.
- Dimensions to the finished face of structural components are to be used.
- All work is to be completed and certified by the builder with relevant authorities before any building work commences.

Copyright  
This design and the associated documents are subject to copyright laws and may not be reproduced in any form without the written consent of Algorry Zappia & Associates Pty Ltd.



Architects  
**villa + villa**  
architectural interior graphics  
Unit 1, Level 1, 64 Business Street, Newport, NSW 9170  
P.O. Box 881, Liverpool Business Centre, NSW 1571  
Tel: 02 9333 1111 / 02 9333 1112  
Fax: 02 9333 1113  
Email: info@villavilla.com.au  
www.villavilla.com.au

**ALGORRY ZAPPIA & ASSOCIATES** Pty Ltd  
Building Designers & Consulting Civil & Structural Engineers

Unit 1, Level 1, 64 Business Street, Newport, NSW 9170  
P.O. Box 881, Liverpool Business Centre, NSW 1571  
Tel: 02 9333 1111 / 02 9333 1112  
Fax: 02 9333 1113  
Email: info@algorryzappia.com.au  
www.algorryzappia.com.au

Project:  
**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002564 No. 10-14 THIRD AVE  
BLACKTOWN

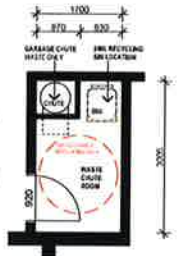
Client:  
**FIVE UNIT PTY LTD**  
Title:  
**9th FLOOR PLAN**

Drawn N.Z.	Checked C.Z.	Date AUG 2016
As Issued DA	As Issued 1393-15	Scale 1:100, 1:50
Project # P 4474	Sheet # A215	Level C



# LEGEND

- 1 BED
- 2 BED
- 3 BED
- COMMERCIAL / RETAIL SPACE



TYP WASTE CHUTE ROOM DETAIL  
SCALE 1:50

Rev	Description	Date	Drawn	Checked
A	FOR DA	30.06.2016	NZ	CZ
B	AMENDED FOR DA	16.01.2017	NZ	CZ
C	AMENDED FOR DA	22.05.2017	NZ	CZ

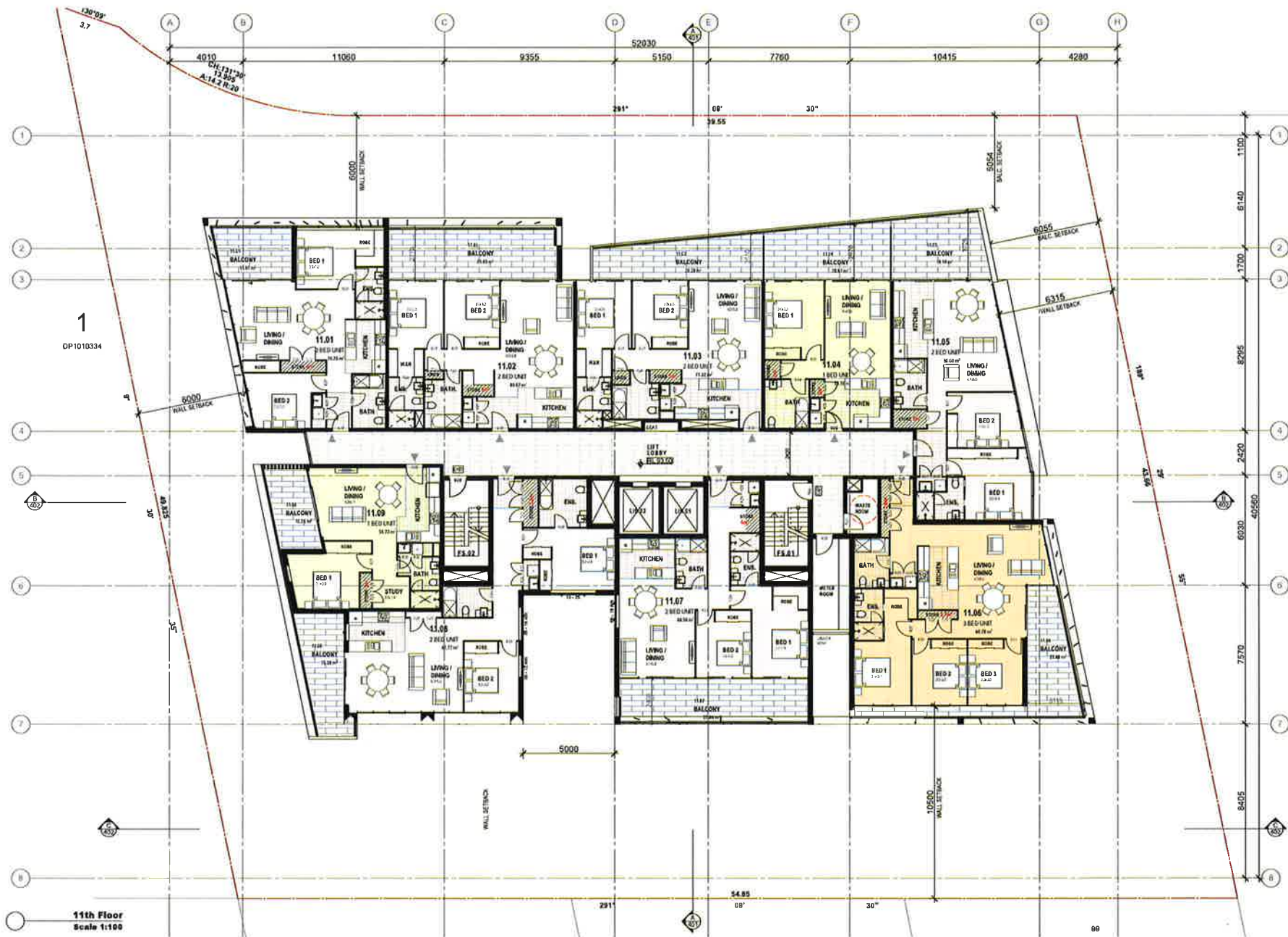
General Notes  
1. All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.  
2. Levels shown are approximate unless otherwise indicated.  
3. Planned dimensions should be taken in preference to setting.  
4. All building elements must be constructed to the minimum prior to commencement of any building work.  
5. Where engineering drawings are required, such must take preference to this drawing.  
6. Dimensions to be checked and verified by the Builder with relevant authorities before any building work commences.  
7. All dimensions to be checked and verified by the Builder with relevant authorities before any building work commences.

Copyright  
This drawing and the associated documents are subject to copyright laws and may not be reproduced or used in any form without written permission from Algorry Zappia & Associates Pty Ltd.



Design/Constructors  
**villa v**  
architectural interior graphics  
10/11-12/13, 14/15, 16/17, 18/19, 20/21, 22/23, 24/25, 26/27, 28/29, 30/31, 32/33, 34/35, 36/37, 38/39, 40/41, 42/43, 44/45, 46/47, 48/49, 50/51, 52/53, 54/55, 56/57, 58/59, 60/61, 62/63, 64/65, 66/67, 68/69, 70/71, 72/73, 74/75, 76/77, 78/79, 80/81, 82/83, 84/85, 86/87, 88/89, 90/91, 92/93, 94/95, 96/97, 98/99, 100/101, 102/103, 104/105, 106/107, 108/109, 110/111, 112/113, 114/115, 116/117, 118/119, 120/121, 122/123, 124/125, 126/127, 128/129, 130/131, 132/133, 134/135, 136/137, 138/139, 140/141, 142/143, 144/145, 146/147, 148/149, 150/151, 152/153, 154/155, 156/157, 158/159, 160/161, 162/163, 164/165, 166/167, 168/169, 170/171, 172/173, 174/175, 176/177, 178/179, 180/181, 182/183, 184/185, 186/187, 188/189, 190/191, 192/193, 194/195, 196/197, 198/199, 200/201, 202/203, 204/205, 206/207, 208/209, 210/211, 212/213, 214/215, 216/217, 218/219, 220/221, 222/223, 224/225, 226/227, 228/229, 230/231, 232/233, 234/235, 236/237, 238/239, 240/241, 242/243, 244/245, 246/247, 248/249, 250/251, 252/253, 254/255, 256/257, 258/259, 260/261, 262/263, 264/265, 266/267, 268/269, 270/271, 272/273, 274/275, 276/277, 278/279, 280/281, 282/283, 284/285, 286/287, 288/289, 290/291, 292/293, 294/295, 296/297, 298/299, 300/301, 302/303, 304/305, 306/307, 308/309, 310/311, 312/313, 314/315, 316/317, 318/319, 320/321, 322/323, 324/325, 326/327, 328/329, 330/331, 332/333, 334/335, 336/337, 338/339, 340/341, 342/343, 344/345, 346/347, 348/349, 350/351, 352/353, 354/355, 356/357, 358/359, 360/361, 362/363, 364/365, 366/367, 368/369, 370/371, 372/373, 374/375, 376/377, 378/379, 380/381, 382/383, 384/385, 386/387, 388/389, 390/391, 392/393, 394/395, 396/397, 398/399, 400/401, 402/403, 404/405, 406/407, 408/409, 410/411, 412/413, 414/415, 416/417, 418/419, 420/421, 422/423, 424/425, 426/427, 428/429, 430/431, 432/433, 434/435, 436/437, 438/439, 440/441, 442/443, 444/445, 446/447, 448/449, 450/451, 452/453, 454/455, 456/457, 458/459, 460/461, 462/463, 464/465, 466/467, 468/469, 470/471, 472/473, 474/475, 476/477, 478/479, 480/481, 482/483, 484/485, 486/487, 488/489, 490/491, 492/493, 494/495, 496/497, 498/499, 500/501, 502/503, 504/505, 506/507, 508/509, 510/511, 512/513, 514/515, 516/517, 518/519, 520/521, 522/523, 524/525, 526/527, 528/529, 530/531, 532/533, 534/535, 536/537, 538/539, 540/541, 542/543, 544/545, 546/547, 548/549, 550/551, 552/553, 554/555, 556/557, 558/559, 560/561, 562/563, 564/565, 566/567, 568/569, 570/571, 572/573, 574/575, 576/577, 578/579, 580/581, 582/583, 584/585, 586/587, 588/589, 590/591, 592/593, 594/595, 596/597, 598/599, 600/601, 602/603, 604/605, 606/607, 608/609, 610/611, 612/613, 614/615, 616/617, 618/619, 620/621, 622/623, 624/625, 626/627, 628/629, 630/631, 632/633, 634/635, 636/637, 638/639, 640/641, 642/643, 644/645, 646/647, 648/649, 650/651, 652/653, 654/655, 656/657, 658/659, 660/661, 662/663, 664/665, 666/667, 668/669, 670/671, 672/673, 674/675, 676/677, 678/679, 680/681, 682/683, 684/685, 686/687, 688/689, 690/691, 692/693, 694/695, 696/697, 698/699, 700/701, 702/703, 704/705, 706/707, 708/709, 710/711, 712/713, 714/715, 716/717, 718/719, 720/721, 722/723, 724/725, 726/727, 728/729, 730/731, 732/733, 734/735, 736/737, 738/739, 740/741, 742/743, 744/745, 746/747, 748/749, 750/751, 752/753, 754/755, 756/757, 758/759, 760/761, 762/763, 764/765, 766/767, 768/769, 770/771, 772/773, 774/775, 776/777, 778/779, 780/781, 782/783, 784/785, 786/787, 788/789, 790/791, 792/793, 794/795, 796/797, 798/799, 800/801, 802/803, 804/805, 806/807, 808/809, 810/811, 812/813, 814/815, 816/817, 818/819, 820/821, 822/823, 824/825, 826/827, 828/829, 830/831, 832/833, 834/835, 836/837, 838/839, 840/841, 842/843, 844/845, 846/847, 848/849, 850/851, 852/853, 854/855, 856/857, 858/859, 860/861, 862/863, 864/865, 866/867, 868/869, 870/871, 872/873, 874/875, 876/877, 878/879, 880/881, 882/883, 884/885, 886/887, 888/889, 890/891, 892/893, 894/895, 896/897, 898/899, 900/901, 902/903, 904/905, 906/907, 908/909, 910/911, 912/913, 914/915, 916/917, 918/919, 920/921, 922/923, 924/925, 926/927, 928/929, 930/931, 932/933, 934/935, 936/937, 938/939, 940/941, 942/943, 944/945, 946/947, 948/949, 950/951, 952/953, 954/955, 956/957, 958/959, 960/961, 962/963, 964/965, 966/967, 968/969, 970/971, 972/973, 974/975, 976/977, 978/979, 980/981, 982/983, 984/985, 986/987, 988/989, 990/991, 992/993, 994/995, 996/997, 998/999, 1000/1001, 1002/1003, 1004/1005, 1006/1007, 1008/1009, 1010/1011, 1012/1013, 1014/1015, 1016/1017, 1018/1019, 1020/1021, 1022/1023, 1024/1025, 1026/1027, 1028/1029, 1030/1031, 1032/1033, 1034/1035, 1036/1037, 1038/1039, 1040/1041, 1042/1043, 1044/1045, 1046/1047, 1048/1049, 1050/1051, 1052/1053, 1054/1055, 1056/1057, 1058/1059, 1060/1061, 1062/1063, 1064/1065, 1066/1067, 1068/1069, 1070/1071, 1072/1073, 1074/1075, 1076/1077, 1078/1079, 1080/1081, 1082/1083, 1084/1085, 1086/1087, 1088/1089, 1090/1091, 1092/1093, 1094/1095, 1096/1097, 1098/1099, 1100/1101, 1102/1103, 1104/1105, 1106/1107, 1108/1109, 1110/1111, 1112/1113, 1114/1115, 1116/1117, 1118/1119, 1120/1121, 1122/1123, 1124/1125, 1126/1127, 1128/1129, 1130/1131, 1132/1133, 1134/1135, 1136/1137, 1138/1139, 1140/1141, 1142/1143, 1144/1145, 1146/1147, 1148/1149, 1150/1151, 1152/1153, 1154/1155, 1156/1157, 1158/1159, 1160/1161, 1162/1163, 1164/1165, 1166/1167, 1168/1169, 1170/1171, 1172/1173, 1174/1175, 1176/1177, 1178/1179, 1180/1181, 1182/1183, 1184/1185, 1186/1187, 1188/1189, 1190/1191, 1192/1193, 1194/1195, 1196/1197, 1198/1199, 1200/1201, 1202/1203, 1204/1205, 1206/1207, 1208/1209, 1210/1211, 1212/1213, 1214/1215, 1216/1217, 1218/1219, 1220/1221, 1222/1223, 1224/1225, 1226/1227, 1228/1229, 1230/1231, 1232/1233, 1234/1235, 1236/1237, 1238/1239, 1240/1241, 1242/1243, 1244/1245, 1246/1247, 1248/1249, 1250/1251, 1252/1253, 1254/1255, 1256/1257, 1258/1259, 1260/1261, 1262/1263, 1264/1265, 1266/1267, 1268/1269, 1270/1271, 1272/1273, 1274/1275, 1276/1277, 1278/1279, 1280/1281, 1282/1283, 1284/1285, 1286/1287, 1288/1289, 1290/1291, 1292/1293, 1294/1295, 1296/1297, 1298/1299, 1300/1301, 1302/1303, 1304/1305, 1306/1307, 1308/1309, 1310/1311, 1312/1313, 1314/1315, 1316/1317, 1318/1319, 1320/1321, 1322/1323, 1324/1325, 1326/1327, 1328/1329, 1330/1331, 1332/1333, 1334/1335, 1336/1337, 1338/1339, 1340/1341, 1342/1343, 1344/1345, 1346/1347, 1348/1349, 1350/1351, 1352/1353, 1354/1355, 1356/1357, 1358/1359, 1360/1361, 1362/1363, 1364/1365, 1366/1367, 1368/1369, 1370/1371, 1372/1373, 1374/1375, 1376/1377, 1378/1379, 1380/1381, 1382/1383, 1384/1385, 1386/1387, 1388/1389, 1390/1391, 1392/1393, 1394/1395, 1396/1397, 1398/1399, 1400/1401, 1402/1403, 1404/1405, 1406/1407, 1408/1409, 1410/1411, 1412/1413, 1414/1415, 1416/1417, 1418/1419, 1420/1421, 1422/1423, 1424/1425, 1426/1427, 1428/1429, 1430/1431, 1432/1433, 1434/1435, 1436/1437, 1438/1439, 1440/1441, 1442/1443, 1444/1445, 1446/1447, 1448/1449, 1450/1451, 1452/1453, 1454/1455, 1456/1457, 1458/1459, 1460/1461, 1462/1463, 1464/1465, 1466/1467, 1468/1469, 1470/1471, 1472/1473, 1474/1475, 1476/1477, 1478/1479, 1480/1481, 1482/1483, 1484/1485, 1486/1487, 1488/1489, 1490/1491, 1492/1493, 1494/1495, 1496/1497, 1498/1499, 1500/1501, 1502/1503, 1504/1505, 1506/1507, 1508/1509, 1510/1511, 1512/1513, 1514/1515, 1516/1517, 1518/1519, 1520/1521, 1522/1523, 1524/1525, 1526/1527, 1528/1529, 1530/1531, 1532/1533, 1534/1535, 1536/1537, 1538/1539, 1540/1541, 1542/1543, 1544/1545, 1546/1547, 1548/1549, 1550/1551, 1552/1553, 1554/1555, 1556/1557, 1558/1559, 1560/1561, 1562/1563, 1564/1565, 1566/1567, 1568/1569, 1570/1571, 1572/1573, 1574/1575, 1576/1577, 1578/1579, 1580/1581, 1582/1583, 1584/1585, 1586/1587, 1588/1589, 1590/1591, 1592/1593, 1594/1595, 1596/1597, 1598/1599, 1600/1601, 1602/1603, 1604/1605, 1606/1607, 1608/1609, 1610/1611, 1612/1613, 1614/1615, 1616/1617, 1618/1619, 1620/1621, 1622/1623, 1624/1625, 1626/1627, 1628/1629, 1630/1631, 1632/1633, 1634/1635, 1636/1637, 1638/1639, 1640/1641, 1642/1643, 1644/1645, 1646/1647, 1648/1649, 1650/1651, 1652/1653, 1654/1655, 1656/1657, 1658/1659, 1660/1661, 1662/1663, 1664/1665, 1666/1667, 1668/1669, 1670/1671, 1672/1673, 1674/1675, 1676/1677, 1678/1679, 1680/1681, 1682/1683, 1684/1685, 1686/1687, 1688/1689, 1690/1691, 1692/1693, 1694/1695, 1696/1697, 1698/1699, 1700/1701, 1702/1703, 1704/1705, 1706/1707, 1708/1709, 1710/1711, 1712/1713, 1714/1715, 1716/1717, 1718/1719, 1720/1721, 1722/1723, 1724/1725, 1726/1727, 1728/1729, 1730/1731, 1732/1733, 1734/1735, 1736/1737, 1738/1739, 1740/1741, 1742/1743, 1744/1745, 1746/1747, 1748/1749, 1750/1751, 1752/1753, 1754/1755, 1756/1757, 1758/1759, 1760/1761, 1762/1763, 1764/1765, 1766/1767, 1768/1769, 1770/1771, 1772/1773, 1774/1775, 1776/1777, 1778/1779, 1780/1781, 1782/1783, 1784/1785, 1786/1787, 1788/1789, 1790/1791, 1792/1793, 1794/1795, 1796/1797, 1798/1799, 1800/1801, 1802/1803, 1804/1805, 1806/1807, 1808/1809, 1810/1811, 1812/1813, 1814/1815, 1816/1817, 1818/1819, 1820/1821, 1822/1823, 1824/1825, 1826/1827, 1828/1829, 1830/1831, 1832/1833, 1834/1835, 1836/1837, 1838/1839, 1840/1841, 1842/1843, 1844/1845, 1846/1847, 1848/1849, 1850/1851, 1852/1853, 1854/1855, 1856/1857, 1858/1859, 1860/1861, 1862/1863, 1864/1865, 1866/1867, 1868/1869, 1870/1871, 1872/1873, 1874/1875, 1876/1877, 1878/1879, 1880/1881, 1882/1883, 1884/1885, 1886/1887, 1888/1889, 1890/1891, 1892/1893, 1894/1895, 1896/1897, 1898/1899, 1900/1901, 1902/1903, 1904/1905, 1906/1907, 1908/1909, 1910/1911, 1912/1913, 1914/1915, 1916/1917, 1918/1919, 1920/1921, 1922/1923, 1924/1925, 1926/1927, 1928/1929, 1930/1931, 1932/1933, 1934/1935, 1936/1937, 1938/1939, 1940/1941, 1942/1943, 1944/1945, 1946/1947, 1948/1949, 1950/1951, 1952/1953, 1954/1955, 1956/1957, 1958/1959, 1960/1961, 1962/1963, 1964/1965, 1966/1967, 1968/1969, 1970/1971, 1972/1973, 1974/1975, 1976/1977, 1978/1979, 1980/1981, 1982/1983, 1984/1985, 1986/1987, 1988/1989, 1990/1991, 1992/1993, 1994/1995, 1996/1997, 1998/1999, 2000/2001, 2002/2003, 2004/2005, 2006/2007, 2008/2009, 2010/2011, 2012/2013, 2014/2015, 2016/2017, 2018/2019, 2020/2021, 2022/2023, 2024/2025, 2026/2027, 2028/2029, 2030/2031, 2032/2033, 2034/2035, 2036/2037, 2038/2039, 2040/2041, 2042/2043, 2044/2045, 2046/2047, 2048/2049, 2050/2051, 2052/2053, 2054/2055, 2056/2057, 2058/2059, 2060/2061, 2062/2063, 2064/2065, 2066/2067, 2068/2069, 2070/2071, 2072/2073, 2074/2075, 2076/2077, 2078/2079, 2080/2081, 2082/2083, 2084/2085, 2086/2087, 2088/2089, 2090/2091, 2092/2093, 2094/2095, 2096/2097, 2098/2099, 2100/2101, 2102/2103, 2104/2105, 2106/2107, 2108/2109, 2110/2111, 2112/2113, 2114/2115, 2116/2117, 2118/2119, 2120/2121, 2122/2123, 2124/2125, 2126/2127, 2128/2129, 2130/2131, 2132/2133, 2134/2135, 2136/2137, 2138/2139, 2140/2141, 2142/2143, 2144/2145, 2146/2147, 2148/2149, 2150/2151, 2152/2153, 2154/2155, 2156/2157, 2158/2159, 2160/2161, 2162/2163, 2164/2165, 2166/2167, 2168/2169, 2170/2171, 2172/2173, 2174/2175, 2176/2177, 2178/2179, 2180/2181, 2182/2183, 2184/2185, 2186/2187, 2188/2189, 2190/2191, 2192/2193, 2194/2195, 2196/2197, 2198/2199, 2200/2201, 2202/2203, 2204/2205, 2206/2207, 2208/2209, 2210/2211, 2212/2213, 2214/2215, 2216/2217, 2218/2219, 2220/2221, 2222/2223, 2224/2225, 2226/2227, 2228/2229, 2230/2231, 2232/2233, 2234/2235, 2236/2237, 2238/2239, 2240/2241, 2242/2243, 2244/2245, 2246/2247, 2248/2249, 2250/2251, 2252/2253, 2254/2255, 2256/2257, 2258/2259, 2260/2261, 2262/2263, 2264/2265, 2266/2267, 2268/2269, 2270/2271, 2272/2273, 2274/2275,





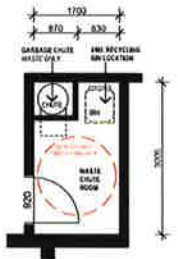
# LEGEND

1 BED

2 BED

3 BED

COMMERCIAL /  
RETAIL SPACE



## TYP WASTE CHUTE ROOM DETAIL

SCALE 1:50

Rev	Description	Date	Drawn	Checked
A	FORWARD	20.08.2016	NZ	CZ
B	AMENDED FOR DA	16.01.2017	NZ	CZ
C	AMENDED FOR DA	20.05.2017	NZ	CZ

1. All dimensions and floor areas are to be verified by the building prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.  
2. Levels shown are approximate and subject to confirmation by the building.  
3. All dimensions must be taken to the centerline of walls.  
4. All dimensions must be taken to the centerline of walls.  
5. Where necessary, dimensions are to be taken to the centerline of walls.  
6. Where necessary, dimensions are to be taken to the centerline of walls.  
7. All dimensions must be taken to the centerline of walls.  
8. All dimensions must be taken to the centerline of walls.

Copyright  
This design and associated documents are subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd



Design Credits  
**villa+villa**  
architectural interior graphics  
Unit 1, Level 1, 84 Railway Street, Newport, NSW 1512  
Tel: 02 9439 8800 Fax: 02 9439 8801  
Email: info@villa+villa.com.au  
Website: www.villa+villa.com.au

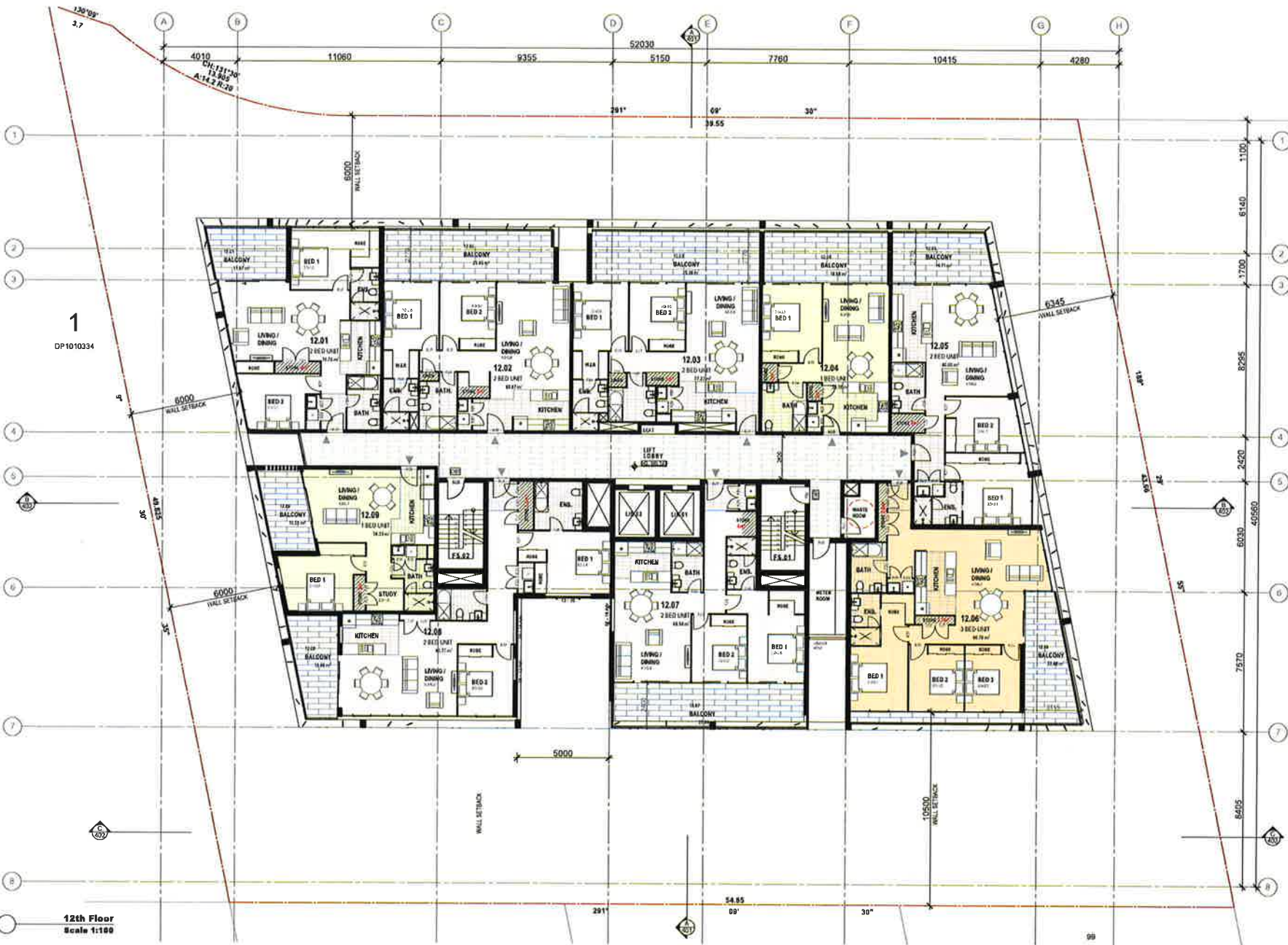
**ALGORRY ZAPPIA & ASSOCIATES** Pty Ltd  
Building Designers & Consulting Civil & Structural Engineers

Scale 1:1000, 1:500, 1:200, 1:100, 1:50  
T.D. Box 881, Liverpool, NSW 1512  
Unit 1, Level 1, 84 Railway Street, Newport, NSW 1512  
Tel: 02 9439 8800 Fax: 02 9439 8801  
Email: info@algorryzappia.com.au  
Website: www.algorryzappia.com.au

Project  
**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002564 No. 10-14 THIRD AVE  
BLACKTOWN

Client  
**FIVE UNIT PTY LTD**  
11th FLOOR PLAN

Drawn	Checked	Date
NZ	CZ	AUG 2016
Project	Sheet	Scale
DA	1303-15	1:100, 1:50
Project	Sheet	Scale
P 4474	A217	C



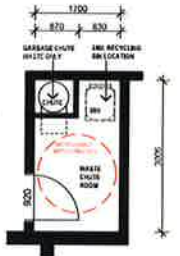
# LEGEND

1 BED

2BED

3 BED

COMMERCIAL /  
RETAIL SPACE



## TYP WASTE CHUTE ROOM DETAIL SCALE 1:50

1  
DP1010334

12th Floor  
Scale 1:100

Rev	Description	Date	Drawn	Checked
A	FOR D.A.	20.08.2016	N.Z.	C.Z.
B	AMENDED FOR D.A.	18.01.2017	N.Z.	C.Z.

- Use any notes
- 1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancy is to be brought to the attention of the Designer.
  - 2) Levels shown are approximate unless accompanied by a level datum.
  - 3) Floor levels must be taken in accordance to existing.
  - 4) All boundary lines must be indicated by the Designer prior to commencement of any building work.
  - 5) All structural elements must be indicated by the Designer prior to commencement of any building work.
  - 6) All structural elements must be indicated by the Designer prior to commencement of any building work.
  - 7) All structural elements must be indicated by the Designer prior to commencement of any building work.
  - 8) All structural elements must be indicated by the Designer prior to commencement of any building work.
  - 9) All structural elements must be indicated by the Designer prior to commencement of any building work.
  - 10) All structural elements must be indicated by the Designer prior to commencement of any building work.
- Copyright  
This design and the associated documents are subject to copyright laws and may not be reproduced or used in any form without written consent from Algorry Zappia & Associates Pty Ltd.



ALGORRY ZAPPIA & ASSOCIATES  
Building Designers & Consulting Civil & Structural Engineers

• Suite 4, Level 1, 84 Bathurst Street, Liverpool NSW 2157  
P.O. Box 825, Liverpool Business Centre NSW 2157  
• Mobile 9313 7100/9313 7101  
• Email: info@algorryzappia.com.au  
• Website: www.algorryzappia.com.au

Project  
PROPOSED MIXED USE DEVELOPMENT  
Lot 100 in DP1002564 No. 10-14 THIRD AVE  
BLACKTOWN

Client  
FIVE UNIT PTY LTD

Title  
12th FLOOR PLAN

Drawn	Checked	Date
N.Z.	C.Z.	AUG 2016
Author	Scale	Scale
QA	1:100-1:50	1:100, 1:50
Project #	Sheet #	Value
P 4474	A218	B



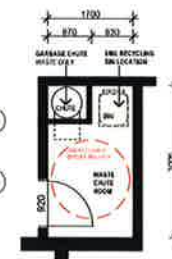
# LEGEND

1 BED

2BED

3 BED

COMMERCIAL /  
RETAIL SPACE



**TYP WASTE  
CHUTE  
ROOM DETAIL**  
SCALE 1:50

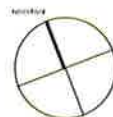
**13th Floor**  
Scale 1:100

Rev	Description	Date	Drawn	By
A	FOR BIA	20/06/2016	NZ	CZ
B	AMENDED FOR BIA	10/01/2017	NZ	CZ

**NOTES:**

- All dimensions and floor areas are to be verified by the builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
- Level heights are approximate unless otherwise indicated.
- Figure dimensions must be taken in preference to walling.
- All rooming dimensions must be verified by the surveyor prior to commencement of any building work.
- Where engineering drawings are required, such must take precedence in this drawing.
- Room areas to be designed to Council requirements and AS 2900.1-1995.
- All services to be located and verified by the builder with relevant authorities before any building work commences.

**COPYRIGHT:**  
This design and the associated documents are subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.

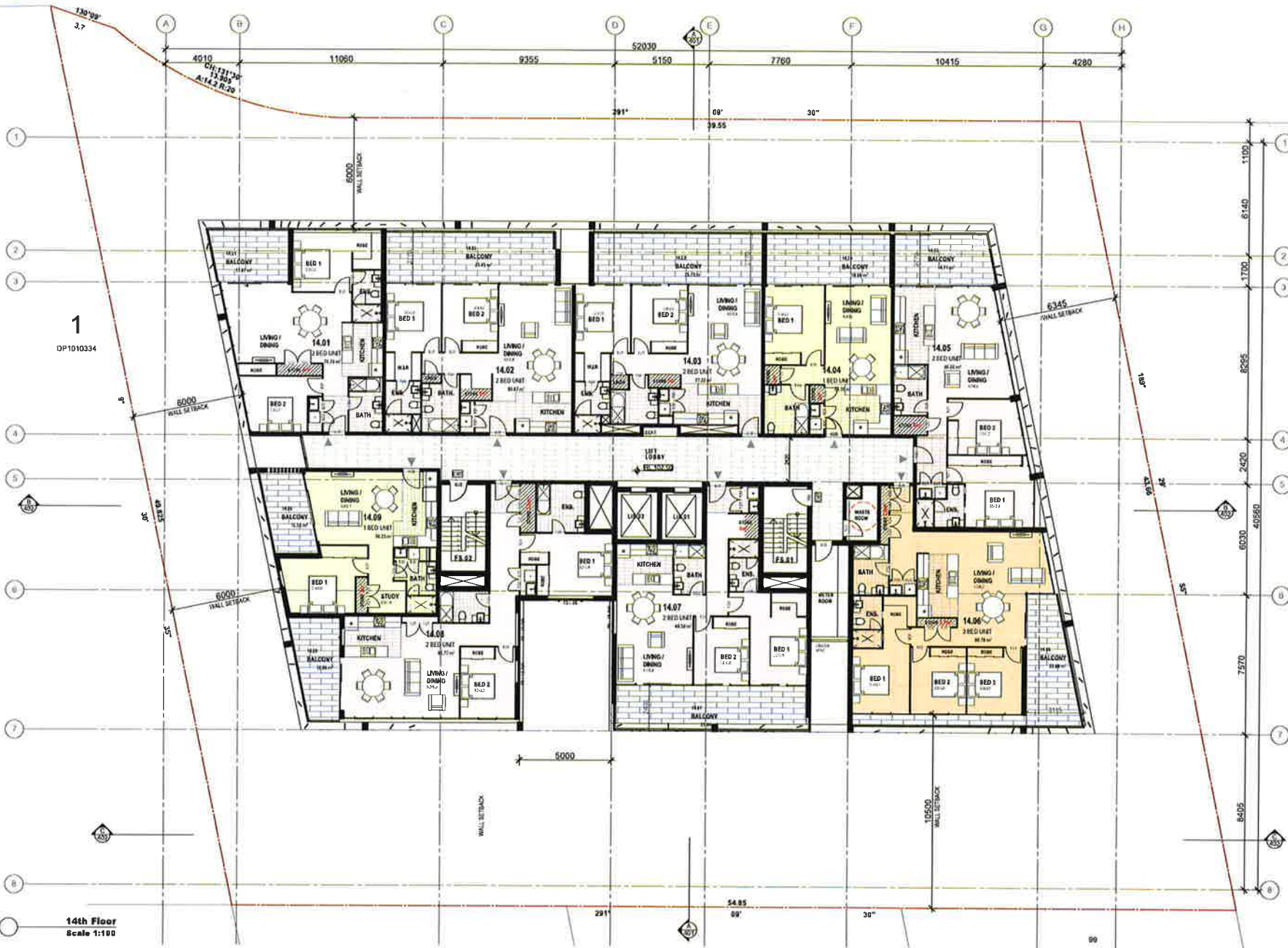


**Design Consultants**  
**villa villa**  
interior architecture  
Level 1, Level 1, 100 Richard Street, Sydney, NSW 1512  
P.O. Box 999, Sydney, NSW 1512  
Tel: 02 9237 7600  
Fax: 02 9237 7601  
www.villavilla.com.au

**ALGORRY ZAPPIA & ASSOCIATES** Pty Ltd  
Building Designers & Consulting Civil & Structural Engineers  
Level 1, Level 1, 100 Richard Street, Sydney, NSW 1512  
P.O. Box 999, Sydney, NSW 1512  
Tel: 02 9237 7600  
Fax: 02 9237 7601  
www.algorryzappia.com.au

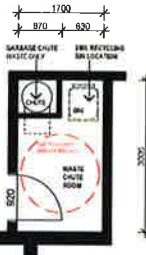
**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002584 No. 10-14 THIRD AVE  
BLACKTOWN  
Client:  
**FIVE UNIT PTY LTD**  
Title:  
**13th FLOOR PLAN**

Drawn	Checked	Date
NZ	CZ	AUG 2016
As Issued	As Issued	As Issued
DA	13/03/15	1:100, 1:50
Project #	Sheet #	Sheet
P 4474	A219	B



# LEGEND

- 1 BED
- 2 BED
- 3 BED
- COMMERCIAL / RETAIL SPACE



TYP WASTE CHUTE ROOM DETAIL  
SCALE 1:50

1  
DP1010334

14th Floor  
Scale 1:100

Rev	Description	Date	By	App'd
A	FOR DA	10/08/2016	NZ	CZ
B	AMENDED FOR DA	10/01/2017	NZ	CZ

General Notes  
1. All dimensions and floor space are to be verified by the Builder prior to the commencement of any building work. Any discrepancy is to be brought to the attention of the Designer.  
2. Levels shown are approximate unless accompanied by individual levels.  
3. Planned dimensions must be based on preferences to existing.  
4. All structural dimensions must be confirmed by the Engineer prior to the commencement of any building work.  
5. Where engineering drawings are required such must take precedence to this drawing.  
6. Dimensions to be checked prior to construction and prior to construction.  
7. All dimensions to be checked and confirmed by the Builder with relevant authorities before any building work commences.  
COPYRIGHT  
This drawing and the associated documents are subject to copyright laws and may not be reproduced or used in any form without written consent from Algorry Zappia & Associates Pty Ltd.



Architects  
**villa + villa**  
architects interior designers  
2/11-13/15, 10/15/16, 10/15/17, 10/15/18  
10/15/19, 10/15/20, 10/15/21, 10/15/22  
10/15/23, 10/15/24, 10/15/25, 10/15/26  
10/15/27, 10/15/28, 10/15/29, 10/15/30  
10/15/31, 10/15/32, 10/15/33, 10/15/34  
10/15/35, 10/15/36, 10/15/37, 10/15/38  
10/15/39, 10/15/40, 10/15/41, 10/15/42  
10/15/43, 10/15/44, 10/15/45, 10/15/46  
10/15/47, 10/15/48, 10/15/49, 10/15/50  
10/15/51, 10/15/52, 10/15/53, 10/15/54  
10/15/55, 10/15/56, 10/15/57, 10/15/58  
10/15/59, 10/15/60, 10/15/61, 10/15/62  
10/15/63, 10/15/64, 10/15/65, 10/15/66  
10/15/67, 10/15/68, 10/15/69, 10/15/70  
10/15/71, 10/15/72, 10/15/73, 10/15/74  
10/15/75, 10/15/76, 10/15/77, 10/15/78  
10/15/79, 10/15/80, 10/15/81, 10/15/82  
10/15/83, 10/15/84, 10/15/85, 10/15/86  
10/15/87, 10/15/88, 10/15/89, 10/15/90  
10/15/91, 10/15/92, 10/15/93, 10/15/94  
10/15/95, 10/15/96, 10/15/97, 10/15/98  
10/15/99, 10/15/100, 10/15/101, 10/15/102  
10/15/103, 10/15/104, 10/15/105, 10/15/106  
10/15/107, 10/15/108, 10/15/109, 10/15/110  
10/15/111, 10/15/112, 10/15/113, 10/15/114  
10/15/115, 10/15/116, 10/15/117, 10/15/118  
10/15/119, 10/15/120, 10/15/121, 10/15/122  
10/15/123, 10/15/124, 10/15/125, 10/15/126  
10/15/127, 10/15/128, 10/15/129, 10/15/130  
10/15/131, 10/15/132, 10/15/133, 10/15/134  
10/15/135, 10/15/136, 10/15/137, 10/15/138  
10/15/139, 10/15/140, 10/15/141, 10/15/142  
10/15/143, 10/15/144, 10/15/145, 10/15/146  
10/15/147, 10/15/148, 10/15/149, 10/15/150  
10/15/151, 10/15/152, 10/15/153, 10/15/154  
10/15/155, 10/15/156, 10/15/157, 10/15/158  
10/15/159, 10/15/160, 10/15/161, 10/15/162  
10/15/163, 10/15/164, 10/15/165, 10/15/166  
10/15/167, 10/15/168, 10/15/169, 10/15/170  
10/15/171, 10/15/172, 10/15/173, 10/15/174  
10/15/175, 10/15/176, 10/15/177, 10/15/178  
10/15/179, 10/15/180, 10/15/181, 10/15/182  
10/15/183, 10/15/184, 10/15/185, 10/15/186  
10/15/187, 10/15/188, 10/15/189, 10/15/190  
10/15/191, 10/15/192, 10/15/193, 10/15/194  
10/15/195, 10/15/196, 10/15/197, 10/15/198  
10/15/199, 10/15/200, 10/15/201, 10/15/202  
10/15/203, 10/15/204, 10/15/205, 10/15/206  
10/15/207, 10/15/208, 10/15/209, 10/15/210  
10/15/211, 10/15/212, 10/15/213, 10/15/214  
10/15/215, 10/15/216, 10/15/217, 10/15/218  
10/15/219, 10/15/220, 10/15/221, 10/15/222  
10/15/223, 10/15/224, 10/15/225, 10/15/226  
10/15/227, 10/15/228, 10/15/229, 10/15/230  
10/15/231, 10/15/232, 10/15/233, 10/15/234  
10/15/235, 10/15/236, 10/15/237, 10/15/238  
10/15/239, 10/15/240, 10/15/241, 10/15/242  
10/15/243, 10/15/244, 10/15/245, 10/15/246  
10/15/247, 10/15/248, 10/15/249, 10/15/250  
10/15/251, 10/15/252, 10/15/253, 10/15/254  
10/15/255, 10/15/256, 10/15/257, 10/15/258  
10/15/259, 10/15/260, 10/15/261, 10/15/262  
10/15/263, 10/15/264, 10/15/265, 10/15/266  
10/15/267, 10/15/268, 10/15/269, 10/15/270  
10/15/271, 10/15/272, 10/15/273, 10/15/274  
10/15/275, 10/15/276, 10/15/277, 10/15/278  
10/15/279, 10/15/280, 10/15/281, 10/15/282  
10/15/283, 10/15/284, 10/15/285, 10/15/286  
10/15/287, 10/15/288, 10/15/289, 10/15/290  
10/15/291, 10/15/292, 10/15/293, 10/15/294  
10/15/295, 10/15/296, 10/15/297, 10/15/298  
10/15/299, 10/15/300, 10/15/301, 10/15/302  
10/15/303, 10/15/304, 10/15/305, 10/15/306  
10/15/307, 10/15/308, 10/15/309, 10/15/310  
10/15/311, 10/15/312, 10/15/313, 10/15/314  
10/15/315, 10/15/316, 10/15/317, 10/15/318  
10/15/319, 10/15/320, 10/15/321, 10/15/322  
10/15/323, 10/15/324, 10/15/325, 10/15/326  
10/15/327, 10/15/328, 10/15/329, 10/15/330  
10/15/331, 10/15/332, 10/15/333, 10/15/334  
10/15/335, 10/15/336, 10/15/337, 10/15/338  
10/15/339, 10/15/340, 10/15/341, 10/15/342  
10/15/343, 10/15/344, 10/15/345, 10/15/346  
10/15/347, 10/15/348, 10/15/349, 10/15/350  
10/15/351, 10/15/352, 10/15/353, 10/15/354  
10/15/355, 10/15/356, 10/15/357, 10/15/358  
10/15/359, 10/15/360, 10/15/361, 10/15/362  
10/15/363, 10/15/364, 10/15/365, 10/15/366  
10/15/367, 10/15/368, 10/15/369, 10/15/370  
10/15/371, 10/15/372, 10/15/373, 10/15/374  
10/15/375, 10/15/376, 10/15/377, 10/15/378  
10/15/379, 10/15/380, 10/15/381, 10/15/382  
10/15/383, 10/15/384, 10/15/385, 10/15/386  
10/15/387, 10/15/388, 10/15/389, 10/15/390  
10/15/391, 10/15/392, 10/15/393, 10/15/394  
10/15/395, 10/15/396, 10/15/397, 10/15/398  
10/15/399, 10/15/400, 10/15/401, 10/15/402  
10/15/403, 10/15/404, 10/15/405, 10/15/406  
10/15/407, 10/15/408, 10/15/409, 10/15/410  
10/15/411, 10/15/412, 10/15/413, 10/15/414  
10/15/415, 10/15/416, 10/15/417, 10/15/418  
10/15/419, 10/15/420, 10/15/421, 10/15/422  
10/15/423, 10/15/424, 10/15/425, 10/15/426  
10/15/427, 10/15/428, 10/15/429, 10/15/430  
10/15/431, 10/15/432, 10/15/433, 10/15/434  
10/15/435, 10/15/436, 10/15/437, 10/15/438  
10/15/439, 10/15/440, 10/15/441, 10/15/442  
10/15/443, 10/15/444, 10/15/445, 10/15/446  
10/15/447, 10/15/448, 10/15/449, 10/15/450  
10/15/451, 10/15/452, 10/15/453, 10/15/454  
10/15/455, 10/15/456, 10/15/457, 10/15/458  
10/15/459, 10/15/460, 10/15/461, 10/15/462  
10/15/463, 10/15/464, 10/15/465, 10/15/466  
10/15/467, 10/15/468, 10/15/469, 10/15/470  
10/15/471, 10/15/472, 10/15/473, 10/15/474  
10/15/475, 10/15/476, 10/15/477, 10/15/478  
10/15/479, 10/15/480, 10/15/481, 10/15/482  
10/15/483, 10/15/484, 10/15/485, 10/15/486  
10/15/487, 10/15/488, 10/15/489, 10/15/490  
10/15/491, 10/15/492, 10/15/493, 10/15/494  
10/15/495, 10/15/496, 10/15/497, 10/15/498  
10/15/499, 10/15/500, 10/15/501, 10/15/502  
10/15/503, 10/15/504, 10/15/505, 10/15/506  
10/15/507, 10/15/508, 10/15/509, 10/15/510  
10/15/511, 10/15/512, 10/15/513, 10/15/514  
10/15/515, 10/15/516, 10/15/517, 10/15/518  
10/15/519, 10/15/520, 10/15/521, 10/15/522  
10/15/523, 10/15/524, 10/15/525, 10/15/526  
10/15/527, 10/15/528, 10/15/529, 10/15/530  
10/15/531, 10/15/532, 10/15/533, 10/15/534  
10/15/535, 10/15/536, 10/15/537, 10/15/538  
10/15/539, 10/15/540, 10/15/541, 10/15/542  
10/15/543, 10/15/544, 10/15/545, 10/15/546  
10/15/547, 10/15/548, 10/15/549, 10/15/550  
10/15/551, 10/15/552, 10/15/553, 10/15/554  
10/15/555, 10/15/556, 10/15/557, 10/15/558  
10/15/559, 10/15/560, 10/15/561, 10/15/562  
10/15/563, 10/15/564, 10/15/565, 10/15/566  
10/15/567, 10/15/568, 10/15/569, 10/15/570  
10/15/571, 10/15/572, 10/15/573, 10/15/574  
10/15/575, 10/15/576, 10/15/577, 10/15/578  
10/15/579, 10/15/580, 10/15/581, 10/15/582  
10/15/583, 10/15/584, 10/15/585, 10/15/586  
10/15/587, 10/15/588, 10/15/589, 10/15/590  
10/15/591, 10/15/592, 10/15/593, 10/15/594  
10/15/595, 10/15/596, 10/15/597, 10/15/598  
10/15/599, 10/15/600, 10/15/601, 10/15/602  
10/15/603, 10/15/604, 10/15/605, 10/15/606  
10/15/607, 10/15/608, 10/15/609, 10/15/610  
10/15/611, 10/15/612, 10/15/613, 10/15/614  
10/15/615, 10/15/616, 10/15/617, 10/15/618  
10/15/619, 10/15/620, 10/15/621, 10/15/622  
10/15/623, 10/15/624, 10/15/625, 10/15/626  
10/15/627, 10/15/628, 10/15/629, 10/15/630  
10/15/631, 10/15/632, 10/15/633, 10/15/634  
10/15/635, 10/15/636, 10/15/637, 10/15/638  
10/15/639, 10/15/640, 10/15/641, 10/15/642  
10/15/643, 10/15/644, 10/15/645, 10/15/646  
10/15/647, 10/15/648, 10/15/649, 10/15/650  
10/15/651, 10/15/652, 10/15/653, 10/15/654  
10/15/655, 10/15/656, 10/15/657, 10/15/658  
10/15/659, 10/15/660, 10/15/661, 10/15/662  
10/15/663, 10/15/664, 10/15/665, 10/15/666  
10/15/667, 10/15/668, 10/15/669, 10/15/670  
10/15/671, 10/15/672, 10/15/673, 10/15/674  
10/15/675, 10/15/676, 10/15/677, 10/15/678  
10/15/679, 10/15/680, 10/15/681, 10/15/682  
10/15/683, 10/15/684, 10/15/685, 10/15/686  
10/15/687, 10/15/688, 10/15/689, 10/15/690  
10/15/691, 10/15/692, 10/15/693, 10/15/694  
10/15/695, 10/15/696, 10/15/697, 10/15/698  
10/15/699, 10/15/700, 10/15/701, 10/15/702  
10/15/703, 10/15/704, 10/15/705, 10/15/706  
10/15/707, 10/15/708, 10/15/709, 10/15/710  
10/15/711, 10/15/712, 10/15/713, 10/15/714  
10/15/715, 10/15/716, 10/15/717, 10/15/718  
10/15/719, 10/15/720, 10/15/721, 10/15/722  
10/15/723, 10/15/724, 10/15/725, 10/15/726  
10/15/727, 10/15/728, 10/15/729, 10/15/730  
10/15/731, 10/15/732, 10/15/733, 10/15/734  
10/15/735, 10/15/736, 10/15/737, 10/15/738  
10/15/739, 10/15/740, 10/15/741, 10/15/742  
10/15/743, 10/15/744, 10/15/745, 10/15/746  
10/15/747, 10/15/748, 10/15/749, 10/15/750  
10/15/751, 10/15/752, 10/15/753, 10/15/754  
10/15/755, 10/15/756, 10/15/757, 10/15/758  
10/15/759, 10/15/760, 10/15/761, 10/15/762  
10/15/763, 10/15/764, 10/15/765, 10/15/766  
10/15/767, 10/15/768, 10/15/769, 10/15/770  
10/15/771, 10/15/772, 10/15/773, 10/15/774  
10/15/775, 10/15/776, 10/15/777, 10/15/778  
10/15/779, 10/15/780, 10/15/781, 10/15/782  
10/15/783, 10/15/784, 10/15/785, 10/15/786  
10/15/787, 10/15/788, 10/15/789, 10/15/790  
10/15/791, 10/15/792, 10/15/793, 10/15/794  
10/15/795, 10/15/796, 10/15/797, 10/15/798  
10/15/799, 10/15/800, 10/15/801, 10/15/802  
10/15/803, 10/15/804, 10/15/805, 10/15/806  
10/15/807, 10/15/808, 10/15/809, 10/15/810  
10/15/811, 10/15/812, 10/15/813, 10/15/814  
10/15/815, 10/15/816, 10/15/817, 10/15/818  
10/15/819, 10/15/820, 10/15/821, 10/15/822  
10/15/823, 10/15/824, 10/15/825, 10/15/826  
10/15/827, 10/15/828, 10/15/829, 10/15/830  
10/15/831, 10/15/832, 10/15/833, 10/15/834  
10/15/835, 10/15/836, 10/15/837, 10/15/838  
10/15/839, 10/15/840, 10/15/841, 10/15/842  
10/15/843, 10/15/844, 10/15/845, 10/15/846  
10/15/847, 10/15/848, 10/15/849, 10/15/850  
10/15/851, 10/15/852, 10/15/853, 10/15/854  
10/15/855, 10/15/856, 10/15/857, 10/15/858  
10/15/859, 10/15/860, 10/15/861, 10/15/862  
10/15/863, 10/15/864, 10/15/865, 10/15/866  
10/15/867, 10/15/868, 10/15/869, 10/15/870  
10/15/871, 10/15/872, 10/15/873, 10/15/874  
10/15/875, 10/15/876, 10/15/877, 10/15/878  
10/15/879, 10/15/880, 10/15/881, 10/15/882  
10/15/883, 10/15/884, 10/15/885, 10/15/886  
10/15/887, 10/15/888, 10/15/889, 10/15/890  
10/15/891, 10/15/892, 10/15/893, 10/15/894  
10/15/895, 10/15/896, 10/15/897, 10/15/898  
10/15/899, 10/15/900, 10/15/901, 10/15/902  
10/15/903, 10/15/904, 10/15/905, 10/15/906  
10/15/907, 10/15/908, 10/15/909, 10/15/910  
10/15/911, 10/15/912, 10/15/913, 10/15/914  
10/15/915, 10/15/916, 10/15/917, 10/15/918  
10/15/919, 10/15/920, 10/15/921, 10/15/922  
10/15/923, 10/15/924, 10/15/925, 10/15/926  
10/15/927, 10/15/928, 10/15/929, 10/15/930  
10/15/931, 10/15/932, 10/15/933, 10/15/934  
10/15/935, 10/15/936, 10/15/937, 10/15/938  
10/15/939, 10/15/940, 10/15/941, 10/15/942  
10/15/943, 10/15/944, 10/15/945, 10/15/946  
10/15/947, 10/15/948, 10/15/949, 10/15/950  
10/15/951, 10/15/952, 10/15/953, 10/15/954  
10/15/955, 10/15/956, 10/15/957, 10/15/958  
10/15/959, 10/15/960, 10/15/961, 10/15/962  
10/15/963, 10/15/964, 10/15/965, 10/15/966  
10/15/967, 10/15/968, 10/15/969, 10/15/970  
10/15/971, 10/15/972, 10/15/973, 10/15/974  
10/15/975, 10/15/976, 10/15/977, 10/15/978  
10/15/979, 10/15/980, 10/15/981, 10/15/982  
10/15/983, 10/15/984, 10/15/985, 10/15/986  
10/15/987, 10/15/988, 10/15/989, 10/15/990  
10/15/991, 10/15/992, 10/15/993, 10/15/994  
10/15/995, 10/15/996, 10/15/997, 10/15/998  
10/15/999, 10/15/1000, 10/15/1001, 10/15/1002  
10/15/1003, 10/15/1004, 10/15/1005, 10/15/1006  
10/15/1007, 10/15/1008, 10/15/1009, 10/15/1010  
10/15/1011, 10/15/1012, 10/15/1013, 10/15/1014  
10/15/1015, 10/15/1016, 10/15/1017, 10/15/1018  
10/15/1019, 10/15/1020, 10/15/1021, 10/15/1022  
10/15/1023, 10/15/1024, 10/15/1025, 10/15/1026  
10/15/1027, 10/15/1028, 10/15/1029, 10/15/1030  
10/15/1031, 10/15/1032, 10/15/1033, 10/15/1034  
10/15/1035, 10/15/1036, 10/15/1037, 10/15/1038  
10/15/1039, 10/15/1040, 10/15/1041, 10/15/1042  
10/15/1043, 10/15/1044, 10/15/1045, 10/15/1046  
10/15/1047, 10/15/1048, 10/15/1049, 10/15/1050  
10/15/1051, 10/15/1052, 10/15/10



# LEGEND

1BED

2BED

3BED

COMMERCIAL /  
RETAIL SPACE



**TYP WASTE  
CHUTE  
ROOM DETAIL**  
SCALE 1:50

**15th Floor**  
Scale 1:100

Rev	Description	Date	Drawn	Checked
A	FOR DA	20.08.2016	NZ	CZ
B	AMENDED FOR DA	16.01.2017	NZ	CZ

NOTES:  
1. All dimensions and floor levels are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the Designer.  
2. Levels shown are approximate unless accompanied by individual notes.  
3. Figures dimensions must be taken in preference to scaling.  
4. All boundaries shown must be verified by the surveyor prior to commencement of any building work.  
5. Where engineering drawings are issued, such as structural drawings, to the Designer.  
6. Dimensions to be checked and verified by the Builder with relevant authorities before any building work commences.  
COPYRIGHT  
This design and the associated documents are subject to copyright laws and may not be reproduced or used in any form without written consent from Algorry Zappia & Associates Pty Ltd.

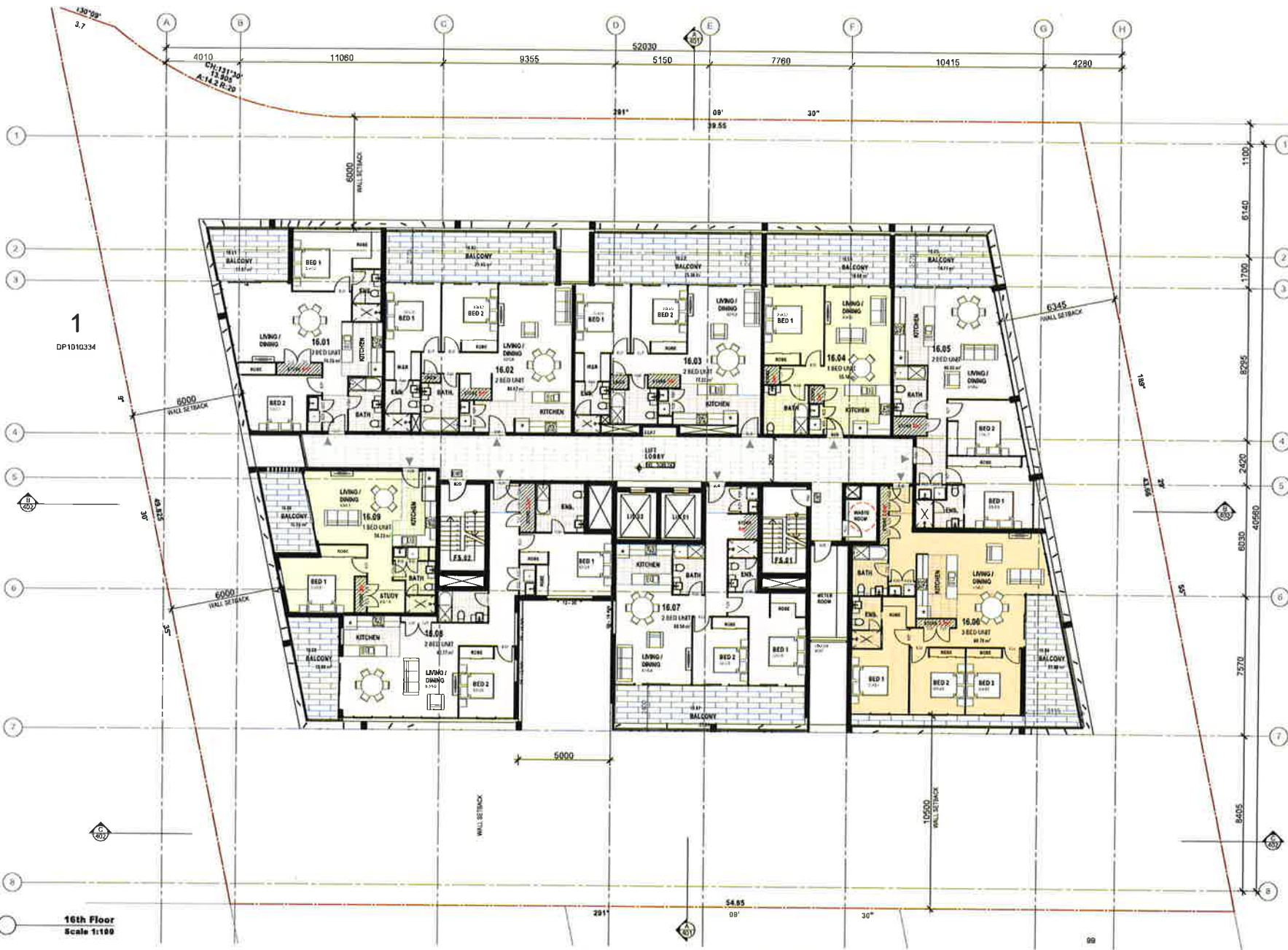


Design Consultants  
**villa v**  
ARCHITECTURE INTERIORS  
10/14 THIRD AVE, BLACKTOWN, NSW 2147  
TEL: 02 9627 1122 FAX: 02 9627 1123  
WWW.VILLAVILLA.COM.AU

**ALGORRY ZAPPIA & ASSOCIATES** Pty Ltd  
Building Designers & Consulting Civil & Structural Engineers  
• Suite 4, Level 1, 84 Railway Street, Liverpool, NSW 2150  
• PO Box 897, Liverpool, New South Wales 2157  
• 02 9627 1122 / 02 9627 1123  
• 02 9627 1122 / 02 9627 1123  
• 02 9627 1122 / 02 9627 1123  
• 02 9627 1122 / 02 9627 1123

Project  
**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002564 No. 10-14 THIRD AVE  
BLACKTOWN  
Client  
**FIVE UNIT PTY/ LTD**  
Title  
**15th FLOOR PLAN**

Drawn	Checked	Date
NZ	CZ	AUG 2016
Author/Type	Rev	Scale to A1
DA	1393-15	1:100, 1:50
Project #	Sheet #	Sheet
P 4474	A221	B



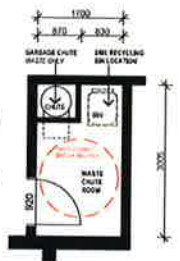
# LEGEND

1 BED

2 BED

3 BED

COMMERCIAL /  
RETAIL SPACE



## TYP WASTE CHUTE ROOM DETAIL SCALE 1:50

16th Floor  
Scale 1:100

Drawn: J. P. 10/08/2015  
Checked: J. P. 10/08/2015  
Scale: 1:100

1. All dimensions are shown in millimeters and are to be rounded to the nearest millimeter.  
2. Levels shown are approximate unless otherwise indicated.  
3. Floor levels are shown in parentheses (e.g., (1.00)).  
4. All boundary dimensions must be verified by the contractor prior to commencement of any building work.  
5. Where engineering drawings are required, such as for structural steelwork, the contractor must obtain the necessary approvals from the relevant authorities before any building work commences.  
6. All work must be completed in accordance with the relevant Australian Standards and the relevant Building Code of Australia.  
7. All work must be completed in accordance with the relevant Australian Standards and the relevant Building Code of Australia.  
8. All work must be completed in accordance with the relevant Australian Standards and the relevant Building Code of Australia.  
9. All work must be completed in accordance with the relevant Australian Standards and the relevant Building Code of Australia.  
10. All work must be completed in accordance with the relevant Australian Standards and the relevant Building Code of Australia.



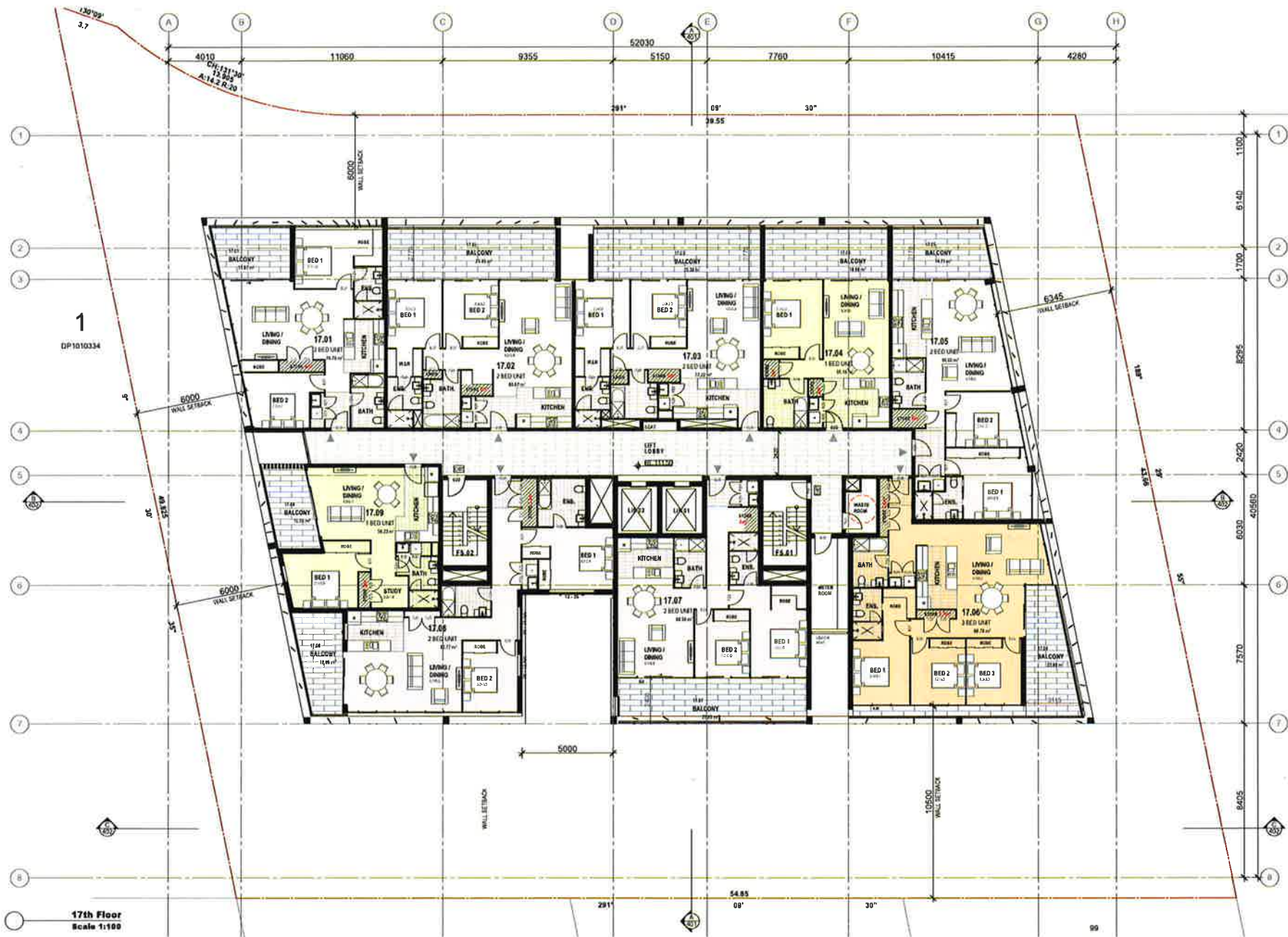
**villa + villa**  
architectural interior graphics  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015

**ALGORRY ZAPPIA & ASSOCIATES**  
Building Designers & Consulting Civil & Structural Engineers  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015

**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002564 No. 10-14 THIRD AVE  
BLACKTOWN  
Five Unit Pty Ltd  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015  
10/10/2015

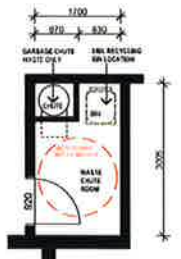
Drawn: J. P. 10/08/2015  
Checked: J. P. 10/08/2015  
Scale: 1:100  
Date: AUG 2015  
Project: P 4474  
Sheet: A222  
Title: 16th FLOOR PLAN





# LEGEND

- 1 BED
- 2 BED
- 3 BED
- COMMERCIAL / RETAIL SPACE



**TYP WASTE CHUTE ROOM DETAIL**  
SCALE 1:50

**17th Floor**  
Scale 1:100

NO.	DESCRIPTION	DATE	DRAWN	CHECKED
1	FOR DA	10.08.2016	ALZ	CZ
2	AMENDED FOR DA	16.01.2017	ALZ	CZ

**Notes:**

- All dimensions and floor levels are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the Designer.
- Levels shown are sea-level unless otherwise indicated.
- Figured dimensions must be taken in preference to scaling.
- All boundary dimensions must be verified by the Surveyor prior to commencement of any building work.
- Where engineering drawings are required, such shall take precedence to this drawing.
- Dimensions to be verified to Council requirements at AS 2201-1993.
- All services to be installed and verified by the Builder and approved prior to any building work commencing.

**Copyright:**  
This design of the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.



**Architects**  
**villa + villa**  
architects interior graphics  
Unit 4, Level 1, 81 Buxton Street, (opposite) NSW 1510  
Ph: 02 9551 1111 Fax: 02 9551 1112  
Email: info@villavilla.com.au  
www.villavilla.com.au

**ALGORRY ZAPPIA & ASSOCIATES** Pty Ltd  
Structural Designers & Consulting Civil & Structural Engineers

• Suite 4, Level 1, 81 Buxton Street, (opposite) NSW 1510  
P.O. Box 165, Buxton Building Centre, NSW 1511  
1. NSW 02 9551 1111  
• admin@algorryzappia.com.au  
www.algorryzappia.com.au

**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002564 No. 10-14 THIRD AVE  
BLACKTOWN  
Cust: FIVE UNIT PTY/ LTD  
17th FLOOR PLAN

Drawn N.Z.	Checked C.Z.	Date AUG 2016
Project DA	Scale 1:100, 1:50	Sheet B
Project P 4474	Sheet A223	

Drawn N.Z	Cleaved CZ	Date AUG 2018
Assembly Type DA	Job # 1393-15	Scale (1/4" = 1'-00"
Project # P 4474	Sheet # A224	Book B



# EXTERNAL FINISHES SCHEDULE

- 1 ALUMINIUM COMPOSITE CLADDING  
WHITE - SHEEN FINISH
- 2 SCREEN MESH - GKO MESH @  
ALU G10 BRONZE COLOURED MESH C33
- 3 PAINTED CONCRETE WALLS - DARK GREY
- 4 BALCONY BALUSTRADES - POWDER COATED FRAME  
TINTED BLACK GLASS INFILLS
- 5 GROUND FLOOR COLUMNS & BEAMS  
OFF FORM CONCRETE FINISH WITH BLACK INFILLS
- 6 ROLLER SHUTTER - POWDERCOATED METAL  
- DARK GREY
- 7 ALUMINIUM FRAMED GLAZING - DARK GREY
- 8 BALCONY CEILING SOFFITS - DARK GREY
- 9 BALCONY CEILING SOFFITS - WHITE
- 10 PLANT AND LIFT WALLS - ROOF LEVEL  
VETRABOND - Zinc Dark 5229 or sim.



**SOUTH ELEVATION**  
Scale 1:200

Rev	Description	Date	Drawn	Checked
A	FOR I/A	30.08.2016	NZ	CZ
B	AMENDED FOR I/A	16.01.2017	NZ	CZ
C	AMENDED FOR I/A	01.05.2017	NZ	CZ

**GENERAL NOTES**

1. All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
2. Levels shown are representative unless accompanied by precise details.
3. Figure dimensions must be taken in preference to all other.
4. All building elements must be verified by the survey prior to commencement of any building work.
5. Where engineering drawings are required such as structural steelwork, the designer shall be responsible for the design.
6. Structures to be designed to Council requirements and AS 2000.10.2000.
7. All services to be located and installed by the Builder, with reference to the drawings and specifications.

**COPYRIGHT**  
This design and the associated documents are subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.

**Design-Consultants**  
**villa @ villa**  
VIRSHACKS WILSON GROVES  
Unit 1, 111-113, 115-117, 119-121, 123-125, 127-129, 131-133, 135-137, 139-141, 143-145, 147-149, 151-153, 155-157, 159-161, 163-165, 167-169, 171-173, 175-177, 179-181, 183-185, 187-189, 191-193, 195-197, 199-201, 203-205, 207-209, 211-213, 215-217, 219-221, 223-225, 227-229, 231-233, 235-237, 239-241, 243-245, 247-249, 251-253, 255-257, 259-261, 263-265, 267-269, 271-273, 275-277, 279-281, 283-285, 287-289, 291-293, 295-297, 299-301, 303-305, 307-309, 311-313, 315-317, 319-321, 323-325, 327-329, 331-333, 335-337, 339-341, 343-345, 347-349, 351-353, 355-357, 359-361, 363-365, 367-369, 371-373, 375-377, 379-381, 383-385, 387-389, 391-393, 395-397, 399-401, 403-405, 407-409, 411-413, 415-417, 419-421, 423-425, 427-429, 431-433, 435-437, 439-441, 443-445, 447-449, 451-453, 455-457, 459-461, 463-465, 467-469, 471-473, 475-477, 479-481, 483-485, 487-489, 491-493, 495-497, 499-501, 503-505, 507-509, 511-513, 515-517, 519-521, 523-525, 527-529, 531-533, 535-537, 539-541, 543-545, 547-549, 551-553, 555-557, 559-561, 563-565, 567-569, 571-573, 575-577, 579-581, 583-585, 587-589, 591-593, 595-597, 599-601, 603-605, 607-609, 611-613, 615-617, 619-621, 623-625, 627-629, 631-633, 635-637, 639-641, 643-645, 647-649, 651-653, 655-657, 659-661, 663-665, 667-669, 671-673, 675-677, 679-681, 683-685, 687-689, 691-693, 695-697, 699-701, 703-705, 707-709, 711-713, 715-717, 719-721, 723-725, 727-729, 731-733, 735-737, 739-741, 743-745, 747-749, 751-753, 755-757, 759-761, 763-765, 767-769, 771-773, 775-777, 779-781, 783-785, 787-789, 791-793, 795-797, 799-801, 803-805, 807-809, 811-813, 815-817, 819-821, 823-825, 827-829, 831-833, 835-837, 839-841, 843-845, 847-849, 851-853, 855-857, 859-861, 863-865, 867-869, 871-873, 875-877, 879-881, 883-885, 887-889, 891-893, 895-897, 899-901, 903-905, 907-909, 911-913, 915-917, 919-921, 923-925, 927-929, 931-933, 935-937, 939-941, 943-945, 947-949, 951-953, 955-957, 959-961, 963-965, 967-969, 971-973, 975-977, 979-981, 983-985, 987-989, 991-993, 995-997, 999-1001, 1003-1005, 1007-1009, 1011-1013, 1015-1017, 1019-1021, 1023-1025, 1027-1029, 1031-1033, 1035-1037, 1039-1041, 1043-1045, 1047-1049, 1051-1053, 1055-1057, 1059-1061, 1063-1065, 1067-1069, 1071-1073, 1075-1077, 1079-1081, 1083-1085, 1087-1089, 1091-1093, 1095-1097, 1099-1101, 1103-1105, 1107-1109, 1111-1113, 1115-1117, 1119-1121, 1123-1125, 1127-1129, 1131-1133, 1135-1137, 1139-1141, 1143-1145, 1147-1149, 1151-1153, 1155-1157, 1159-1161, 1163-1165, 1167-1169, 1171-1173, 1175-1177, 1179-1181, 1183-1185, 1187-1189, 1191-1193, 1195-1197, 1199-1201, 1203-1205, 1207-1209, 1211-1213, 1215-1217, 1219-1221, 1223-1225, 1227-1229, 1231-1233, 1235-1237, 1239-1241, 1243-1245, 1247-1249, 1251-1253, 1255-1257, 1259-1261, 1263-1265, 1267-1269, 1271-1273, 1275-1277, 1279-1281, 1283-1285, 1287-1289, 1291-1293, 1295-1297, 1299-1301, 1303-1305, 1307-1309, 1311-1313, 1315-1317, 1319-1321, 1323-1325, 1327-1329, 1331-1333, 1335-1337, 1339-1341, 1343-1345, 1347-1349, 1351-1353, 1355-1357, 1359-1361, 1363-1365, 1367-1369, 1371-1373, 1375-1377, 1379-1381, 1383-1385, 1387-1389, 1391-1393, 1395-1397, 1399-1401, 1403-1405, 1407-1409, 1411-1413, 1415-1417, 1419-1421, 1423-1425, 1427-1429, 1431-1433, 1435-1437, 1439-1441, 1443-1445, 1447-1449, 1451-1453, 1455-1457, 1459-1461, 1463-1465, 1467-1469, 1471-1473, 1475-1477, 1479-1481, 1483-1485, 1487-1489, 1491-1493, 1495-1497, 1499-1501, 1503-1505, 1507-1509, 1511-1513, 1515-1517, 1519-1521, 1523-1525, 1527-1529, 1531-1533, 1535-1537, 1539-1541, 1543-1545, 1547-1549, 1551-1553, 1555-1557, 1559-1561, 1563-1565, 1567-1569, 1571-1573, 1575-1577, 1579-1581, 1583-1585, 1587-1589, 1591-1593, 1595-1597, 1599-1601, 1603-1605, 1607-1609, 1611-1613, 1615-1617, 1619-1621, 1623-1625, 1627-1629, 1631-1633, 1635-1637, 1639-1641, 1643-1645, 1647-1649, 1651-1653, 1655-1657, 1659-1661, 1663-1665, 1667-1669, 1671-1673, 1675-1677, 1679-1681, 1683-1685, 1687-1689, 1691-1693, 1695-1697, 1699-1701, 1703-1705, 1707-1709, 1711-1713, 1715-1717, 1719-1721, 1723-1725, 1727-1729, 1731-1733, 1735-1737, 1739-1741, 1743-1745, 1747-1749, 1751-1753, 1755-1757, 1759-1761, 1763-1765, 1767-1769, 1771-1773, 1775-1777, 1779-1781, 1783-1785, 1787-1789, 1791-1793, 1795-1797, 1799-1801, 1803-1805, 1807-1809, 1811-1813, 1815-1817, 1819-1821, 1823-1825, 1827-1829, 1831-1833, 1835-1837, 1839-1841, 1843-1845, 1847-1849, 1851-1853, 1855-1857, 1859-1861, 1863-1865, 1867-1869, 1871-1873, 1875-1877, 1879-1881, 1883-1885, 1887-1889, 1891-1893, 1895-1897, 1899-1901, 1903-1905, 1907-1909, 1911-1913, 1915-1917, 1919-1921, 1923-1925, 1927-1929, 1931-1933, 1935-1937, 1939-1941, 1943-1945, 1947-1949, 1951-1953, 1955-1957, 1959-1961, 1963-1965, 1967-1969, 1971-1973, 1975-1977, 1979-1981, 1983-1985, 1987-1989, 1991-1993, 1995-1997, 1999-2001, 2003-2005, 2007-2009, 2011-2013, 2015-2017, 2019-2021, 2023-2025, 2027-2029, 2031-2033, 2035-2037, 2039-2041, 2043-2045, 2047-2049, 2051-2053, 2055-2057, 2059-2061, 2063-2065, 2067-2069, 2071-2073, 2075-2077, 2079-2081, 2083-2085, 2087-2089, 2091-2093, 2095-2097, 2099-2101, 2103-2105, 2107-2109, 2111-2113, 2115-2117, 2119-2121, 2123-2125, 2127-2129, 2131-2133, 2135-2137, 2139-2141, 2143-2145, 2147-2149, 2151-2153, 2155-2157, 2159-2161, 2163-2165, 2167-2169, 2171-2173, 2175-2177, 2179-2181, 2183-2185, 2187-2189, 2191-2193, 2195-2197, 2199-2201, 2203-2205, 2207-2209, 2211-2213, 2215-2217, 2219-2221, 2223-2225, 2227-2229, 2231-2233, 2235-2237, 2239-2241, 2243-2245, 2247-2249, 2251-2253, 2255-2257, 2259-2261, 2263-2265, 2267-2269, 2271-2273, 2275-2277, 2279-2281, 2283-2285, 2287-2289, 2291-2293, 2295-2297, 2299-2301, 2303-2305, 2307-2309, 2311-2313, 2315-2317, 2319-2321, 2323-2325, 2327-2329, 2331-2333, 2335-2337, 2339-2341, 2343-2345, 2347-2349, 2351-2353, 2355-2357, 2359-2361, 2363-2365, 2367-2369, 2371-2373, 2375-2377, 2379-2381, 2383-2385, 2387-2389, 2391-2393, 2395-2397, 2399-2401, 2403-2405, 2407-2409, 2411-2413, 2415-2417, 2419-2421, 2423-2425, 2427-2429, 2431-2433, 2435-2437, 2439-2441, 2443-2445, 2447-2449, 2451-2453, 2455-2457, 2459-2461, 2463-2465, 2467-2469, 2471-2473, 2475-2477, 2479-2481, 2483-2485, 2487-2489, 2491-2493, 2495-2497, 2499-2501, 2503-2505, 2507-2509, 2511-2513, 2515-2517, 2519-2521, 2523-2525, 2527-2529, 2531-2533, 2535-2537, 2539-2541, 2543-2545, 2547-2549, 2551-2553, 2555-2557, 2559-2561, 2563-2565, 2567-2569, 2571-2573, 2575-2577, 2579-2581, 2583-2585, 2587-2589, 2591-2593, 2595-2597, 2599-2601, 2603-2605, 2607-2609, 2611-2613, 2615-2617, 2619-2621, 2623-2625, 2627-2629, 2631-2633, 2635-2637, 2639-2641, 2643-2645, 2647-2649, 2651-2653, 2655-2657, 2659-2661, 2663-2665, 2667-2669, 2671-2673, 2675-2677, 2679-2681, 2683-2685, 2687-2689, 2691-2693, 2695-2697, 2699-2701, 2703-2705, 2707-2709, 2711-2713, 2715-2717, 2719-2721, 2723-2725, 2727-2729, 2731-2733, 2735-2737, 2739-2741, 2743-2745, 2747-2749, 2751-2753, 2755-2757, 2759-2761, 2763-2765, 2767-2769, 2771-2773, 2775-2777, 2779-2781, 2783-2785, 2787-2789, 2791-2793, 2795-2797, 2799-2801, 2803-2805, 2807-2809, 2811-2813, 2815-2817, 2819-2821, 2823-2825, 2827-2829, 2831-2833, 2835-2837, 2839-2841, 2843-2845, 2847-2849, 2851-2853, 2855-2857, 2859-2861, 2863-2865, 2867-2869, 2871-2873, 2875-2877, 2879-2881, 2883-2885, 2887-2889, 2891-2893, 2895-2897, 2899-2901, 2903-2905, 2907-2909, 2911-2913, 2915-2917, 2919-2921, 2923-2925, 2927-2929, 2931-2933, 2935-2937, 2939-2941, 2943-2945, 2947-2949, 2951-2953, 2955-2957, 2959-2961, 2963-2965, 2967-2969, 2971-2973, 2975-2977, 2979-2981, 2983-2985, 2987-2989, 2991-2993, 2995-2997, 2999-3001, 3003-3005, 3007-3009, 3011-3013, 3015-3017, 3019-3021, 3023-3025, 3027-3029, 3031-3033, 3035-3037, 3039-3041, 3043-3045, 3047-3049, 3051-3053, 3055-3057, 3059-3061, 3063-3065, 3067-3069, 3071-3073, 3075-3077, 3079-3081, 3083-3085, 3087-3089, 3091-3093, 3095-3097, 3099-3101, 3103-3105, 3107-3109, 3111-3113, 3115-3117, 3119-3121, 3123-3125, 3127-3129, 3131-3133, 3135-3137, 3139-3141, 3143-3145, 3147-3149, 3151-3153, 3155-3157, 3159-3161, 3163-3165, 3167-3169, 3171-3173, 3175-3177, 3179-3181, 3183-3185, 3187-3189, 3191-3193, 3195-3197, 3199-3201, 3203-3205, 3207-3209, 3211-3213, 3215-3217, 3219-3221, 3223-3225, 3227-3229, 3231-3233, 3235-3237, 3239-3241, 3243-3245, 3247-3249, 3251-3253, 3255-3257, 3259-3261, 3263-3265, 3267-3269, 3271-3273, 3275-3277, 3279-3281, 3283-3285, 3287-3289, 3291-3293, 3295-3297, 3299-3301, 3303-3305, 3307-3309, 3311-3313, 3315-3317, 3319-3321, 3323-3325, 3327-3329, 3331-3333, 3335-3337, 3339-3341, 3343-3345, 3347-3349, 3351-3353, 3355-3357, 3359-3361, 3363-3365, 3367-3369, 3371-3373, 3375-3377, 3379-3381, 3383-3385, 3387-3389, 3391-3393, 3395-3397, 3399-3401, 3403-3405, 3407-3409, 3411-3413, 3415-3417, 3419-3421, 3423-3425, 3427-3429, 3431-3433, 3435-3437, 3439-3441, 3443-3445, 3447-3449, 3451-3453, 3455-3457, 3459-3461, 3463-3465, 3467-3469, 3471-3473, 3475-3477, 3479-3481, 3483-3485, 3487-3489, 3491-3493, 3495-3497, 3499-3501, 3503-3505, 3507-3509, 3511-3513, 3515-3517, 3519-3521, 3523-3525, 3527-3529, 3531-3533, 3535-3537, 3539-3541, 3543-3545, 3547-3549, 3551-3553, 3555-3557, 3559-3561, 3563-3565, 3567-3569, 3571-3573, 3575-3577, 3579-3581, 3583-3585, 3587-3589, 3591-3593, 3595-3597, 3599-3601, 3603-3605, 3607-3609, 3611-3613, 3615-3617, 3619-3621, 3623-3625, 3627-3629, 3631-3633, 3635-3637, 3639-3641, 3643-3645, 3647-3649, 3651-3653, 3655-3657, 3659-3661, 3663-3665, 3667-3669, 3671-3673, 3675-3677, 3679-3681, 3683-3685, 3687-3689, 3691-3693, 3695-3697, 3699-3701, 3703-3705, 3707-3709, 3711-3713, 3715-3717, 3719-3721, 3723-3725, 3727-3729, 3731-3733, 3735-3737, 3739-3741, 3743-3745, 3747-3749, 3751-3753, 3755-3757, 3759-3761, 3763-3765, 3767-3769, 3771-3773, 3775-3777, 3779-3781, 3783-3785, 3787-3789, 3791-3793, 3795-3797, 3799-3801, 3803-3805, 3807-3809, 3811-3813, 3815-3817, 3819-3821, 3823-3825, 3827-3829, 3831-3833, 3835-3837, 3839-3841, 3843-3845, 3847-3849, 3851-3853, 3855-3857, 3859-3861, 3863-3865, 3867-3869, 3871-3873, 3875-3877, 3879-3881, 3883-3885, 3887-3889, 3891-3893, 3895-3897, 3899-3901, 3903-3905, 3907-3909, 3911-3913, 3915-3917, 3919-3921, 3923-3925, 3927-3929, 3931-3933, 3935-3937, 3939-3941, 3943-3945, 3947-3949, 3951-3953, 3955-3957, 3959-3961, 3963-3965, 3967-3969, 3971-3973, 3975-3977, 3979-3981, 3983-3985, 3987-3989, 3991-3993, 3995-3997, 3999-4001, 4003-4005, 4007-4009, 4011-4013, 4015-4017, 4019-4021, 4023-4025, 4027-4029, 4031-4033, 4035-4037, 4039-4041, 4043-4045, 4047-4049, 4051-4053, 4055-4057, 4059-4061, 4063-4065, 4067-4069, 4071-4073, 4075-4077, 4079-4081, 4083-4085, 4087-4089, 4091-4093, 4095-4097, 4099-4101, 4103-4105, 4107-4109, 4111-4113, 4115-4117, 4119-4121, 4123-4125, 4127-4129, 4131-4133, 4135-4137, 4139-4141, 4143-4145, 4147-4149, 4151-4153, 4155-4157, 4159-4161, 4163-4165, 4167-4169, 4171-4173, 4175-4177, 4179-4181, 4183-4185, 4187-4189, 4191-4193, 4195-4197, 4199-4201, 4203-4205, 4207-4209, 4211-4213, 4215-4217, 4219-4221, 4223-4225, 4227-4229, 4231-4233, 4235-4237, 4239-4241, 4243-4245, 4247-4249, 4251-4253, 4255-4257, 4259-4261, 4263-4265, 4267-4269, 4271-4273, 4275-4277, 4279-4281, 4283-4285, 4287-4289, 4291-4293, 4295-4297, 4299-4301, 4303-4305, 4307-4309, 4311-4313, 4315-4317, 4319-4321, 4323-4325, 4327-4329, 4331-4333, 4335-4337, 4339-4341, 4343-4345, 4347-4349, 4351-4353, 4355-4357, 4359-4361, 4363-4365, 4367-4369, 4371-4373, 4375-4377, 4379-4381, 4383-4385, 4387-4389, 4391-4393, 4395-4397, 4399-4401, 4403-4405, 4407-4



- 1 ALUMINIUM COMPOSITE CLADDING  
WHITE - SHEEN FINISH
- 2 SCREEN MESH - CO. MESH ©  
AU 6010 BRONZE COLOURED MESH C33
- 3 PAINTED CONCRETE WALLS - DARK GREY
- 4 BALCONY BALUSTRADES - POWDER COATED FRAME  
TINTED BLACK GLASS INFILLS
- 5 GROUND FLOOR COLUMNS & BEAMS  
OFF FORM CONCRETE FINISH WITH BLACK INFILLS
- 6 ROLLER SHUTTER - POWDER COATED METAL  
DARK GREY
- 7 ALUMINIUM FRAMED GLAZING - DARK GREY
- 8 BALCONY CEILING SOFFITS - DARK GREY
- 9 BALCONY CEILING SOFFITS - WHITE
- 10 PLANT AND LIFE WALLS - PLANT LEVEL  
VITRACING - Zinc D4 5/20 on steel



**WEST ELEVATION**  
Scale 1:200

Ref.	Description	Date	Drawn	Issued
A	FOR BA	30.08.2016	NZ	CZ
B	AMENDED FOR BA	16.01.2017	NZ	CZ
C	AMENDED FOR BA	01.05.2017	NZ	CZ

16.000

☐ All documents must be signed and be the work of the Builder prior to commencement of any building work. Any documents are to be brought to the attention of the Engineer.  
☐ Plans submitted are appropriate unless otherwise approved by the Engineer.  
☐ Approved documents must be taken in to compliance.  
☐ All documents must be signed by the Engineer prior to commencement of any building work.  
☐ Where any building work is required such must be completed prior to the opening.  
☐ Documents to be discharged to Council/Engineer and R/S 2220 3-1460.  
☐ All services to be installed and tested by the Builder on relevant authority before any building work.

**COPYRIGHT**  
This design and the associated documents it subject to copyright laws and may not be reproduced in any form without written consent from Hologic, Inc. or Hologic Pty Ltd.

### Design Considerations

**villa ⊕ villa**

technology, internet, graphics  
 2001-2002  
 2003-2004  
 2005-2006  
 2007-2008  
 2009-2010  
 2011-2012  
 2013-2014  
 2015-2016  
 2017-2018  
 2019-2020  
 2021-2022  
 2023-2024  
 2025-2026  
 2027-2028  
 2029-2030  
 2031-2032  
 2033-2034  
 2035-2036  
 2037-2038  
 2039-2040  
 2041-2042  
 2043-2044  
 2045-2046  
 2047-2048  
 2049-2050  
 2051-2052  
 2053-2054  
 2055-2056  
 2057-2058  
 2059-2060  
 2061-2062  
 2063-2064  
 2065-2066  
 2067-2068  
 2069-2070  
 2071-2072  
 2073-2074  
 2075-2076  
 2077-2078  
 2079-2080  
 2081-2082  
 2083-2084  
 2085-2086  
 2087-2088  
 2089-2090  
 2091-2092  
 2093-2094  
 2095-2096  
 2097-2098  
 2099-2100  
 2101-2102  
 2103-2104  
 2105-2106  
 2107-2108  
 2109-2110  
 2111-2112  
 2113-2114  
 2115-2116  
 2117-2118  
 2119-2120  
 2121-2122  
 2123-2124  
 2125-2126  
 2127-2128  
 2129-2130  
 2131-2132  
 2133-2134  
 2135-2136  
 2137-2138  
 2139-2140  
 2141-2142  
 2143-2144  
 2145-2146  
 2147-2148  
 2149-2150  
 2151-2152  
 2153-2154  
 2155-2156  
 2157-2158  
 2159-2160  
 2161-2162  
 2163-2164  
 2165-2166  
 2167-2168  
 2169-2170  
 2171-2172  
 2173-2174  
 2175-2176  
 2177-2178  
 2179-2180  
 2181-2182  
 2183-2184  
 2185-2186  
 2187-2188  
 2189-2190  
 2191-2192  
 2193-2194  
 2195-2196  
 2197-2198  
 2199-2200  
 2201-2202  
 2203-2204  
 2205-2206  
 2207-2208  
 2209-2210  
 2211-2212  
 2213-2214  
 2215-2216  
 2217-2218  
 2219-2220  
 2221-2222  
 2223-2224  
 2225-2226  
 2227-2228  
 2229-2230  
 2231-2232  
 2233-2234  
 2235-2236  
 2237-2238  
 2239-2240  
 2241-2242  
 2243-2244  
 2245-2246  
 2247-2248  
 2249-2250  
 2251-2252  
 2253-2254  
 2255-2256  
 2257-2258  
 2259-2260  
 2261-2262  
 2263-2264  
 2265-2266  
 2267-2268  
 2269-2270  
 2271-2272  
 2273-2274  
 2275-2276  
 2277-2278  
 2279-2280  
 2281-2282  
 2283-2284  
 2285-2286  
 2287-2288  
 2289-2290  
 2291-2292  
 2293-2294  
 2295-2296  
 2297-2298  
 2299-2300  
 2301-2302  
 2303-2304  
 2305-2306  
 2307-2308  
 2309-2310  
 2311-2312  
 2313-2314  
 2315-2316  
 2317-2318  
 2319-2320  
 2321-2322  
 2323-2324  
 2325-2326  
 2327-2328  
 2329-2330  
 2331-2332  
 2333-2334  
 2335-2336  
 2337-2338  
 2339-2340  
 2341-2342  
 2343-2344  
 2345-2346  
 2347-2348  
 2349-2350  
 2351-2352  
 2353-2354  
 2355-2356  
 2357-2358  
 2359-2360  
 2361-2362  
 2363-2364  
 2365-2366  
 2367-2368  
 2369-2370  
 2371-2372  
 2373-2374  
 2375-2376  
 2377-2378  
 2379-2380  
 2381-2382  
 2383-2384  
 2385-2386  
 2387-2388  
 2389-2390  
 2391-2392  
 2393-2394  
 2395-2396  
 2397-2398  
 2399-2400  
 2401-2402  
 2403-2404  
 2405-2406  
 2407-2408  
 2409-2410  
 2411-2412  
 2413-2414  
 2415-2416  
 2417-2418  
 2419-2420  
 2421-2422  
 2423-2424  
 2425-2426  
 2427-2428  
 2429-2430  
 2431-2432  
 2433-2434  
 2435-2436  
 2437-2438  
 2439-2440  
 2441-2442  
 2443-2444  
 2445-2446  
 2447-2448  
 2449-2450  
 2451-2452  
 2453-2454  
 2455-2456  
 2457-2458  
 2459-2460  
 2461-2462  
 2463-2464  
 2465-2466  
 2467-2468  
 2469-2470  
 2471-2472  
 2473-2474  
 2475-2476  
 2477-2478  
 2479-2480  
 2481-2482  
 2483-2484  
 2485-2486  
 2487-2488  
 2489-2490  
 2491-2492  
 2493-2494  
 2495-2496  
 2497-2498  
 2499-2500  
 2501-2502  
 2503-2504  
 2505-2506  
 2507-2508  
 2509-2510  
 2511-2512  
 2513-2514  
 2515-2516  
 2517-2518  
 2519-2520  
 2521-2522  
 2523-2524  
 2525-2526  
 2527-2528  
 2529-2530  
 2531-2532  
 2533-2534  
 2535-2536  
 2537-2538  
 2539-2540  
 2541-2542  
 2543-2544  
 2545-2546  
 2547-2548  
 2549-2550  
 2551-2552  
 2553-2554  
 2555-2556  
 2557-2558  
 2559-2560  
 2561-2562  
 2563-2564  
 2565-2566  
 2567-2568  
 2569-2570  
 2571-2572  
 2573-2574  
 2575-2576  
 2577-2578  
 2579-2580  
 2581-2582  
 2583-2584

**ALGORRY ZAPPIA & ASSOCIATES** PTY LTD  
Building Designers & Consulting Civil & Structural Engineers

o Suite 4 Level 1, 81 Mathews Street, Liverpool NSW 2170  
P.O. Box 885, Liverpool Business Centre, NSW 1671  
t 9669 3133 / 9669 0302 f 9661 6903  
e [adrian@agencysapp.com.au](mailto:adrian@agencysapp.com.au)  
w [www.agencyapp.com.au](http://www.agencyapp.com.au)

© 2002 Blackwell Science Ltd *Journal of Internal Medicine* 252: 105–112

**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002564 No. 10-14 THIRD AVE  
BLACKTOWN

Client  
FIVE UNIT PTY/ LTD

Title  
WEST ELEVATION

Drawn: N Z  
 Checked: CZ  
 Date: AUG 2016

Ac Entry Type: Job #: Scale (1) A1 Scale (2) A3  
DA 1393-15 1 200, 1.100400

Project #: Sheet #: Issue  
P 4474 A302 C



## EXTERNAL FINISHES SCHEDULE

- 1 ALUMINIUM COMPOSITE CLADDING  
WHITE - SILEX FINISH
- 2 SCREEN MESH - GKD MESH 0  
ALU 6016 BRONZE COLOURED MESH C33
- 3 PAINTED CONCRETE WALLS - DARK GREY
- 4 BALCONY BALUSTRADES - POWDER COATED FRAME  
TINTED BLACK GLASS INFILLS
- 5 GROUND FLOOR COLUMNS & BEAMS  
OFF FORM CONCRETE FINISH WITH BLACK INFILL'S
- 6 ROLLER SHUTTER - POWDERCOATED METAL  
DARK GREY
- 7 ALUMINIUM FRAMED GLAZING - DARK GREY
- 8 BALCONY CEILING SOFFITS - DARK GREY
- 9 BALCONY CEILING SOFFITS - WHITE
- 10 PLANT AND LIFT WALLS - ROOF LEVEL  
VITRABOND - Zinc Dark S220 at site.



**EAST ELEVATION**  
Scale 1:200

No.	Description	Date	Drawn	Checked
1	FOR DIA	20.08.2016	NZ	CZ
2	AMENDMENTS FOR DIA	16.01.2017	NZ	CZ
3	AMENDMENTS FOR DIA	01.05.2017	NZ	CZ

**NOTES**

- 1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the Designer.
- 2) Levels shown are approximate unless otherwise indicated by a different level.
- 3) Painted dimensions must be taken in accordance with the drawing.
- 4) All building dimensions must be verified by the Surveyor prior to the commencement of any building work.
- 5) Where engineering drawings are required, such as for structural steelwork, to this drawing.
- 6) Dimensions to be checked by the Surveyor prior to the commencement of any building work.
- 7) All work to be checked and verified by the Builder with relevant authorities before any building work commences.

**COMMENTS**  
This design and the associated documents are subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.

**Design Consultants**  
**villa + villa**  
ARCHITECTS & INTERIOR DESIGNERS  
Unit 1, 100/102, 104, 106, 108, 110, 112, 114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000, 1002, 1004, 1006, 1008, 1010, 1012, 1014, 1016, 1018, 1020, 1022, 1024, 1026, 1028, 1030, 1032, 1034, 1036, 1038, 1040, 1042, 1044, 1046, 1048, 1050, 1052, 1054, 1056, 1058, 1060, 1062, 1064, 1066, 1068, 1070, 1072, 1074, 1076, 1078, 1080, 1082, 1084, 1086, 1088, 1090, 1092, 1094, 1096, 1098, 1100, 1102, 1104, 1106, 1108, 1110, 1112, 1114, 1116, 1118, 1120, 1122, 1124, 1126, 1128, 1130, 1132, 1134, 1136, 1138, 1140, 1142, 1144, 1146, 1148, 1150, 1152, 1154, 1156, 1158, 1160, 1162, 1164, 1166, 1168, 1170, 1172, 1174, 1176, 1178, 1180, 1182, 1184, 1186, 1188, 1190, 1192, 1194, 1196, 1198, 1200, 1202, 1204, 1206, 1208, 1210, 1212, 1214, 1216, 1218, 1220, 1222, 1224, 1226, 1228, 1230, 1232, 1234, 1236, 1238, 1240, 1242, 1244, 1246, 1248, 1250, 1252, 1254, 1256, 1258, 1260, 1262, 1264, 1266, 1268, 1270, 1272, 1274, 1276, 1278, 1280, 1282, 1284, 1286, 1288, 1290, 1292, 1294, 1296, 1298, 1300, 1302, 1304, 1306, 1308, 1310, 1312, 1314, 1316, 1318, 1320, 1322, 1324, 1326, 1328, 1330, 1332, 1334, 1336, 1338, 1340, 1342, 1344, 1346, 1348, 1350, 1352, 1354, 1356, 1358, 1360, 1362, 1364, 1366, 1368, 1370, 1372, 1374, 1376, 1378, 1380, 1382, 1384, 1386, 1388, 1390, 1392, 1394, 1396, 1398, 1400, 1402, 1404, 1406, 1408, 1410, 1412, 1414, 1416, 1418, 1420, 1422, 1424, 1426, 1428, 1430, 1432, 1434, 1436, 1438, 1440, 1442, 1444, 1446, 1448, 1450, 1452, 1454, 1456, 1458, 1460, 1462, 1464, 1466, 1468, 1470, 1472, 1474, 1476, 1478, 1480, 1482, 1484, 1486, 1488, 1490, 1492, 1494, 1496, 1498, 1500, 1502, 1504, 1506, 1508, 1510, 1512, 1514, 1516, 1518, 1520, 1522, 1524, 1526, 1528, 1530, 1532, 1534, 1536, 1538, 1540, 1542, 1544, 1546, 1548, 1550, 1552, 1554, 1556, 1558, 1560, 1562, 1564, 1566, 1568, 1570, 1572, 1574, 1576, 1578, 1580, 1582, 1584, 1586, 1588, 1590, 1592, 1594, 1596, 1598, 1600, 1602, 1604, 1606, 1608, 1610, 1612, 1614, 1616, 1618, 1620, 1622, 1624, 1626, 1628, 1630, 1632, 1634, 1636, 1638, 1640, 1642, 1644, 1646, 1648, 1650, 1652, 1654, 1656, 1658, 1660, 1662, 1664, 1666, 1668, 1670, 1672, 1674, 1676, 1678, 1680, 1682, 1684, 1686, 1688, 1690, 1692, 1694, 1696, 1698, 1700, 1702, 1704, 1706, 1708, 1710, 1712, 1714, 1716, 1718, 1720, 1722, 1724, 1726, 1728, 1730, 1732, 1734, 1736, 1738, 1740, 1742, 1744, 1746, 1748, 1750, 1752, 1754, 1756, 1758, 1760, 1762, 1764, 1766, 1768, 1770, 1772, 1774, 1776, 1778, 1780, 1782, 1784, 1786, 1788, 1790, 1792, 1794, 1796, 1798, 1800, 1802, 1804, 1806, 1808, 1810, 1812, 1814, 1816, 1818, 1820, 1822, 1824, 1826, 1828, 1830, 1832, 1834, 1836, 1838, 1840, 1842, 1844, 1846, 1848, 1850, 1852, 1854, 1856, 1858, 1860, 1862, 1864, 1866, 1868, 1870, 1872, 1874, 1876, 1878, 1880, 1882, 1884, 1886, 1888, 1890, 1892, 1894, 1896, 1898, 1900, 1902, 1904, 1906, 1908, 1910, 1912, 1914, 1916, 1918, 1920, 1922, 1924, 1926, 1928, 1930, 1932, 1934, 1936, 1938, 1940, 1942, 1944, 1946, 1948, 1950, 1952, 1954, 1956, 1958, 1960, 1962, 1964, 1966, 1968, 1970, 1972, 1974, 1976, 1978, 1980, 1982, 1984, 1986, 1988, 1990, 1992, 1994, 1996, 1998, 2000, 2002, 2004, 2006, 2008, 2010, 2012, 2014, 2016, 2018, 2020, 2022, 2024, 2026, 2028, 2030, 2032, 2034, 2036, 2038, 2040, 2042, 2044, 2046, 2048, 2050, 2052, 2054, 2056, 2058, 2060, 2062, 2064, 2066, 2068, 2070, 2072, 2074, 2076, 2078, 2080, 2082, 2084, 2086, 2088, 2090, 2092, 2094, 2096, 2098, 2100, 2102, 2104, 2106, 2108, 2110, 2112, 2114, 2116, 2118, 2120, 2122, 2124, 2126, 2128, 2130, 2132, 2134, 2136, 2138, 2140, 2142, 2144, 2146, 2148, 2150, 2152, 2154, 2156, 2158, 2160, 2162, 2164, 2166, 2168, 2170, 2172, 2174, 2176, 2178, 2180, 2182, 2184, 2186, 2188, 2190, 2192, 2194, 2196, 2198, 2200, 2202, 2204, 2206, 2208, 2210, 2212, 2214, 2216, 2218, 2220, 2222, 2224, 2226, 2228, 2230, 2232, 2234, 2236, 2238, 2240, 2242, 2244, 2246, 2248, 2250, 2252, 2254, 2256, 2258, 2260, 2262, 2264, 2266, 2268, 2270, 2272, 2274, 2276, 2278, 2280, 2282, 2284, 2286, 2288, 2290, 2292, 2294, 2296, 2298, 2300, 2302, 2304, 2306, 2308, 2310, 2312, 2314, 2316, 2318, 2320, 2322, 2324, 2326, 2328, 2330, 2332, 2334, 2336, 2338, 2340, 2342, 2344, 2346, 2348, 2350, 2352, 2354, 2356, 2358, 2360, 2362, 2364, 2366, 2368, 2370, 2372, 2374, 2376, 2378, 2380, 2382, 2384, 2386, 2388, 2390, 2392, 2394, 2396, 2398, 2400, 2402, 2404, 2406, 2408, 2410, 2412, 2414, 2416, 2418, 2420, 2422, 2424, 2426, 2428, 2430, 2432, 2434, 2436, 2438, 2440, 2442, 2444, 2446, 2448, 2450, 2452, 2454, 2456, 2458, 2460, 2462, 2464, 2466, 2468, 2470, 2472, 2474, 2476, 2478, 2480, 2482, 2484, 2486, 2488, 2490, 2492, 2494, 2496, 2498, 2500, 2502, 2504, 2506, 2508, 2510, 2512, 2514, 2516, 2518, 2520, 2522, 2524, 2526, 2528, 2530, 2532, 2534, 2536, 2538, 2540, 2542, 2544, 2546, 2548, 2550, 2552, 2554, 2556, 2558, 2560, 2562, 2564, 2566, 2568, 2570, 2572, 2574, 2576, 2578, 2580, 2582, 2584, 2586, 2588, 2590, 2592, 2594, 2596, 2598, 2600, 2602, 2604, 2606, 2608, 2610, 2612, 2614, 2616, 2618, 2620, 2622, 2624, 2626, 2628, 2630, 2632, 2634, 2636, 2638, 2640, 2642, 2644, 2646, 2648, 2650, 2652, 2654, 2656, 2658, 2660, 2662, 2664, 2666, 2668, 2670, 2672, 2674, 2676, 2678, 2680, 2682, 2684, 2686, 2688, 2690, 2692, 2694, 2696, 2698, 2700, 2702, 2704, 2706, 2708, 2710, 2712, 2714, 2716, 2718, 2720, 2722, 2724, 2726, 2728, 2730, 2732, 2734, 2736, 2738, 2740, 2742, 2744, 2746, 2748, 2750, 2752, 2754, 2756, 2758, 2760, 2762, 2764, 2766, 2768, 2770, 2772, 2774, 2776, 2778, 2780, 2782, 2784, 2786, 2788, 2790, 2792, 2794, 2796, 2798, 2800, 2802, 2804, 2806, 2808, 2810, 2812, 2814, 2816, 2818, 2820, 2822, 2824, 2826, 2828, 2830, 2832, 2834, 2836, 2838, 2840, 2842, 2844, 2846, 2848, 2850, 2852, 2854, 2856, 2858, 2860, 2862, 2864, 2866, 2868, 2870, 2872, 2874, 2876, 2878, 2880, 2882, 2884, 2886, 2888, 2890, 2892, 2894, 2896, 2898, 2900, 2902, 2904, 2906, 2908, 2910, 2912, 2914, 2916, 2918, 2920, 2922, 2924, 2926, 2928, 2930, 2932, 2934, 2936, 2938, 2940, 2942, 2944, 2946, 2948, 2950, 2952, 2954, 2956, 2958, 2960, 2962, 2964, 2966, 2968, 2970, 2972, 2974, 2976, 2978, 2980, 2982, 2984, 2986, 2988, 2990, 2992, 2994, 2996, 2998, 3000, 3002, 3004, 3006, 3008, 3010, 3012, 3014, 3016, 3018, 3020, 3022, 3024, 3026, 3028, 3030, 3032, 3034, 3036, 3038, 3040, 3042, 3044, 3046, 3048, 3050, 3052, 3054, 3056, 3058, 3060, 3062, 3064, 3066, 3068, 3070, 3072, 3074, 3076, 3078, 3080, 3082, 3084, 3086, 3088, 3090, 3092, 3094, 3096, 3098, 3100, 3102, 3104, 3106, 3108, 3110, 3112, 3114, 3116, 3118, 3120, 3122, 3124, 3126, 3128, 3130, 3132, 3134, 3136, 3138, 3140, 3142, 3144, 3146, 3148, 3150, 3152, 3154, 3156, 3158, 3160, 3162, 3164, 3166, 3168, 3170, 3172, 3174, 3176, 3178, 3180, 3182, 3184, 3186, 3188, 3190, 3192, 3194, 3196, 3198, 3200, 3202, 3204, 3206, 3208, 3210, 3212, 3214, 3216, 3218, 3220, 3222, 3224, 3226, 3228, 3230, 3232, 3234, 3236, 3238, 3240, 3242, 3244, 3246, 3248, 3250, 3252, 3254, 3256, 3258, 3260, 3262, 3264, 3266, 3268, 3270, 3272, 3274, 3276, 3278, 3280, 3282, 3284, 3286, 3288, 3290, 3292, 3294, 3296, 3298, 3300, 3302, 3304, 3306, 3308, 3310, 3312, 3314, 3316, 3318, 3320, 3322, 3324, 3326, 3328, 3330, 3332, 3334, 3336, 3338, 3340, 3342, 3344, 3346, 3348, 3350, 3352, 3354, 3356, 3358, 3360, 3362, 3364, 3366, 3368, 3370, 3372, 3374, 3376, 3378, 3380, 3382, 3384, 3386, 3388, 3390, 3392, 3394, 3396, 3398, 3400, 3402, 3404, 3406, 3408, 3410, 3412, 3414, 3416, 3418, 3420, 3422, 3424, 3426, 3428, 3430, 3432, 3434, 3436, 3438, 3440, 3442, 3444, 3446, 3448, 3450, 3452, 3454, 3456, 3458, 3460, 3462, 3464, 3466, 3468, 3470, 3472, 3474, 3476, 3478, 3480, 3482, 3484, 3486, 3488, 3490, 3492, 3494, 3496, 3498, 3500, 3502, 3504, 3506, 3508, 3510, 3512, 3514, 3516, 3518, 3520, 3522, 3524, 3526, 3528, 3530, 3532, 3534, 3536, 3538, 3540, 3542, 3544, 3546, 3548, 3550, 3552, 3554, 3556, 3558, 3560, 3562, 3564, 3566, 3568, 3570, 3572, 3574, 3576, 3578, 3580, 3582, 3584, 3586, 3588, 3590, 3592, 3594, 3596, 3598, 3600, 3602, 3604, 3606, 3608, 3610, 3612, 3614, 3616, 3618, 3620, 3622, 3624, 3626, 3628, 3630, 3632, 3634, 3636, 3638, 3640, 3642, 3644, 3646, 3648, 3650, 3652, 3654, 3656, 3658, 3660, 3662, 3664, 3666, 3668, 3670, 3672, 3674, 3676, 3678, 3680, 3682, 3684, 3686, 3688, 3690, 3692, 3694, 3696, 3698, 3700, 3702, 3704, 3706, 3708, 3710, 3712, 3714, 3716, 3718, 3720, 3722, 3724, 3726, 3728, 3730, 3732, 3734, 3736, 3738, 3740, 3742, 3744, 3746, 3748, 3750, 3752, 3754, 3756, 3758, 3760, 3762, 3764, 3766, 3768, 3770, 3772, 3774, 3776, 3778, 3780, 3782, 3784, 3786, 3788, 3790, 3792, 3794, 3796, 3798, 3800, 3802, 3804, 3806, 3808, 3810, 3812, 3814, 3816, 3818, 3820, 3822, 3824, 3826, 3828, 3830, 3832, 3834, 3836, 3838, 3840, 3842, 3844, 3846, 3848, 3850, 3852, 3854, 3856, 3858, 3860, 3862, 3864, 3866, 3868, 3870, 3872, 3874, 3876, 3878, 3880, 3882, 3884, 3886, 3888, 3890, 3892, 3894, 3896, 3898, 3900, 3902, 3904, 3906, 3908, 3910, 3912, 3914, 3916, 3918, 3920, 3922, 3924, 3926, 3928, 3930, 3932, 3934, 3936, 3938, 3940, 3942, 3944, 3946, 3948, 3950, 3952, 3954, 3956, 3958, 3960, 3962, 3964, 3966, 3968, 3970, 3972, 3974, 3976, 3978,



## EXTERNAL FINISHES SCHEDULE

- 1 ALUMINUM COMPOSITE CLADDING  
WHITE - SIEGEN FINISH
- 2 SCREEN MESH - G10 MESH @  
ALU 610, BRONZE COLOURED MESH C13
- 3 PAINTED CONCRETE WALLS - DARK GREY
- 4 BALCONY BALUSTRADES - POWDER COATED FRAME  
TINTED BLACK GLASS INFILLS
- 5 GROUND FLOOR COLUMNS & BEAMS  
OFF FORM CONCRETE FINISH WITH BLACK INFILLS
- 6 ROLLER SHUTTER - POWDERCOATED METAL  
DARK GREY
- 7 ALUMINUM FRAMED GLAZING - DARK GREY
- 8 BALCONY CEILING SOFFITS - DARK GREY
- 9 BALCONY CEILING SOFFITS - WHITE
- 10 PLANT AND LIFT WALLS - ROOF LEVEL  
VITRABOND - Zinc Dark S20 or sim.



**NORTH ELEVATION**  
Scale 1:200

REV	DESCRIPTION	DATE	DRAWN	CHECKED
A	FOR D.A.	20.08.2016	N.Z.	C.Z.
B	AMENDED FOR D.A.	18.01.2017	N.Z.	C.Z.
C	AMENDED FOR D.A.	01.05.2017	N.Z.	C.Z.
D	AMENDED SUBSTANTIAL LOCATION	07.07.2017	N.Z.	C.Z.

### USE AND NOTES

- 1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the Designer.
- 2) Levels shown are approximate unless otherwise indicated.
- 3) Typical dimensions must be shown on all drawings.
- 4) All boundary dimensions must be verified by the Surveyor prior to commencement of any building work.
- 5) Where engineering drawings are required, such must be in accordance with this drawing.
- 6) Structures to be designed to comply with the relevant standards and AS 1170.1:2009.
- 7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

### COPYRIGHT

The design and the associated documents are subject to copyright and may not be reproduced in any form without written consent from Alagorry Zappia & Associates Pty Ltd.

### Design Consultants

**villa villa**  
interior design interiors graphics

10/100 RIVERVIEW DRIVE, SUITE 100  
MELBOURNE, VIC 3000  
TEL: 03 9594 1000  
WWW.VILLAVILLA.COM.AU

**ALAGORRY ZAPPIA & ASSOCIATES** Pty Ltd  
Building Designers & Consulting Civil & Structural Engineers

10/100 RIVERVIEW DRIVE, SUITE 100  
MELBOURNE, VIC 3000  
TEL: 03 9594 1000  
WWW.ALAGORRYZAPPIA.COM.AU

### Page 1

**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002564 No. 10-14 THIRD AVE  
BLACKTOWN

Client:  
**FIVE UNIT PTY LTD**

File:  
**NORTH ELEVATION**

Drawn: N.Z.	Checked: C.Z.	Date: AUG 2016
Project: DA	Job #: 1383-15	Scale of A1: 1:200, 1:1000 (0.75)
Project #: P 4474	Sheet #: A304	Rev: D





**General Notes**

- 1) All dimensions and other spaces are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the Designer.
- 2) Levels shown are approximate and may be amended by the Builder.
- 3) Physical dimensions must be taken in preference to existing.
- 4) All boundary elements must be verified by the Builder prior to commencement of any building work.
- 5) Where engineering drawings are required each must take reference to this drawing.
- 6) Materials to be supplied by the Builder must meet BS 5833:1-1990.
- 7) All services are to be located and verified by the Builder with relevant authorities before any building work commences.

**DISCLAIMER**

This design and the associated documents it belongs to are prepared for and may not be reproduced in any form without written consent from Ashurst Property & Resources Pty Ltd.

APR 23 06:42 PM 2008

Drawn: N.Z.	Checked: C.Z.	Date: AUG 2015
Activity Type: DA	Job #: 1393-15	Scale (1"=1') Scale (1/2"=1')
Project #: P 4474	Sheet #: A401	Sheet: B

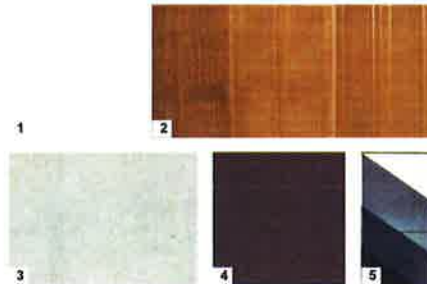
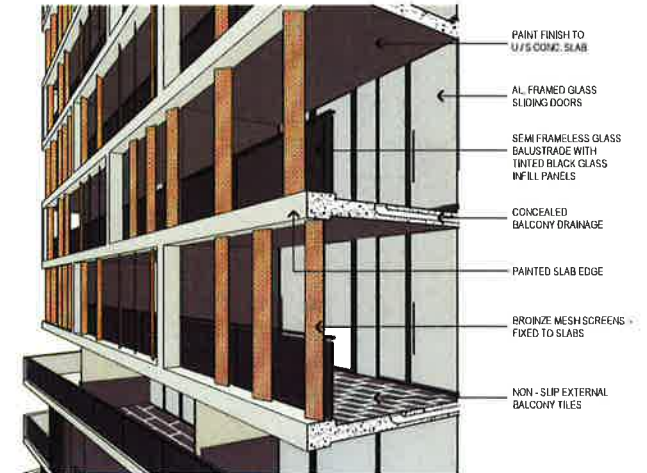






## EXTERNAL MATERIALS AND FINISHES

1. WHITE PAINT FINISH
2. BRONZE MESH FINISH
3. OFF FORM CONCRETE FINISH
4. GREY / CHARCOAL PAINT FINISH
5. BLACK TINTED GLASS BALUSTRADE



Rev	Description	Date	Drawn	Checked
A	FOR I.D.A.	20.08.2016	N.Z.	C.Z.
B	AMENDED FOR I.D.A.	16.01.2017	N.Z.	C.Z.

**GOVERNANCE**

1. All dimensions and floor areas are to be verified by the Engineer prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.

2. Levels shown are approximate unless accompanied by a level bench.

3. Elevation dimensions must be taken in accordance with the drawing.

4. All boundary dimensions must be verified by the surveyor prior to commencement of any building work.

5. Where engineering drawings are required such as a geotechnical or structural drawing, the Engineer is to be consulted for further requirements and for approval of the drawing.

6. All materials to be located and verified by the Builder with relevant authorities to have any building work commenced.

**COPYRIGHT**

This design and the associated documents are subject to copyright laws and may not be reproduced or used without written consent from Algorry Zappia & Associates Pty Ltd.

**Algorry Zappia & Associates**

**villa villa**

architectural design group

Unit 4, Level 1, 100 Third Avenue, Blacktown NSW 2148

Ph: 02 9371 1111 Fax: 02 9371 1112

www.algorryzappia.com.au

**ALGORRY ZAPPIA & ASSOCIATES** Pty Ltd

Building Designers & Consulting Civil & Structural Engineers

Unit 4, Level 1, 100 Third Avenue, Blacktown NSW 2148

Ph: 02 9371 1111 Fax: 02 9371 1112

www.algorryzappia.com.au

**PROPOSED MIXED USE DEVELOPMENT**

Lot 100 in DP1002564 No. 10-14 THIRD AVE BLACKTOWN

Client: FIVE UNIT PTY/ LTD

Project # P 4474

Sheet # A501

Scale: 1:100

Date: AUG 2016

Drawn: N.Z.

Checked: C.Z.

Project: P 4474

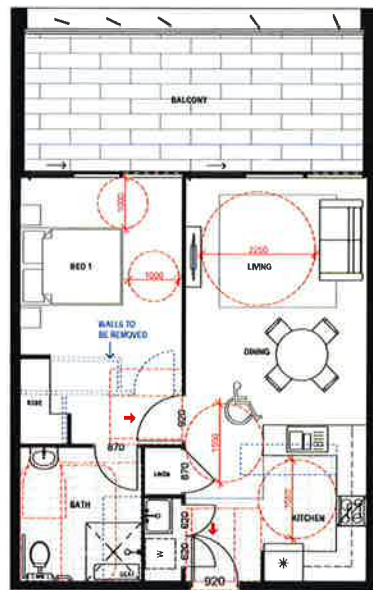
Sheet: A501

Scale: 1:100

Date: AUG 2016



**PLAN - PRE ADAPTABLE - 1 BED**  
Scale 1:150



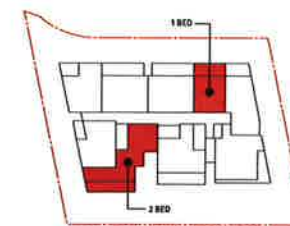
**PLAN - POST ADAPTABLE - 1 BED**  
Scale 1:150



**PLAN - PRE ADAPTABLE - 2 BED**  
Scale 1:150



**PLAN - POST ADAPTABLE - 2 BED**  
Scale 1:150



**ACCESSIBLE UNIT LOCATION PLAN**

Rev	Description	Date	Drawn	Checked
A	FOR D.A.	20.09.2016	N.Z.	CZ
B	AMENDED FOR D.A.	14.01.2017	N.Z.	CZ

**Site use notes**

- 1) All dimensions and floor areas are to be verified by the Engineer prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
- 2) Levels shown are approximate unless accompanied by reduced levels.
- 3) Figure dimensions must be taken as per the drawing.
- 4) All boundary lines must be verified by the surveyor prior to commencement of any building work.
- 5) Where engineering drawings are required, such must be in accordance with this drawing.
- 6) Dimensions to be determined by the Engineer and verified by the Surveyor prior to any building work.
- 7) All services to be located and verified by the Engineer and verified by the Surveyor prior to any building work.

**Comments**

This design and the associated documents are subject to copyright laws and may not be reproduced in any form without written permission from Alagorzy Zappia & Associates Pty Ltd.



**Alagorzy Zappia & Associates**  
**villa v**  
ARCHITECTURAL DESIGN GROUP  
Unit 1, 100-110 Third Avenue, Blacktown, NSW 2148  
Phone: 02 9332 1100 Fax: 02 9332 1101  
Email: info@alagorzyzappia.com.au  
www.alagorzyzappia.com.au

**ALAGORZY ZAPPIA & ASSOCIATES** Pty Ltd  
Building Designers & Consulting Civil & Structural Engineers

• Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2150  
P.O. Box 885, Liverpool Business Centre, NSW 2157  
1. 02 9332 1100 (NOR) 02 9332 1101 (EXT) 02 9332 1102 (FAX)  
e: info@alagorzyzappia.com.au  
w: www.alagorzyzappia.com.au

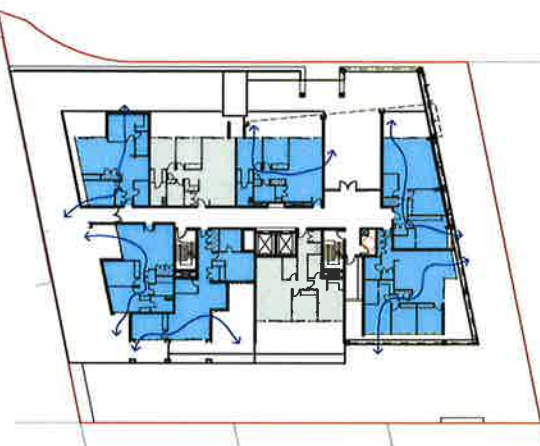
Project  
**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002564 NO. 10-14 THIRD AVE  
BLACKTOWN

Client  
**FIVE UNIT PTY LTD**

Title  
**ACCESSIBLE UNIT LAYOUT**

Drawn	Checked	Date
N.Z.	CZ	AUG 2016
As Issued	As Issued	As Issued
DA	1203-15	1:50
Project #	Sheet #	Sheet
P 4474	A502	B





CROSS VENT LEVEL 2  
Scale 1:300



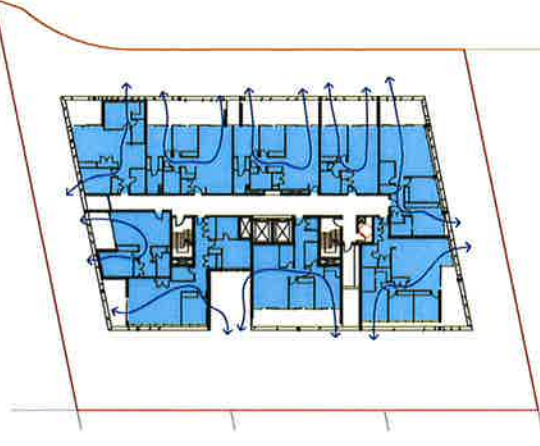
CROSS VENT LEVEL 3-6  
Scale 1:300



CROSS VENT LEVEL 7-9  
Scale 1:300



CROSS VENT LEVEL 10-11  
Scale 1:300



CROSS VENT LEVEL 12-17  
Scale 1:300

#### LEGEND

- NOT VENTILATED
- CROSS VENTILATED

#### SEPP65 OBJECTIVE 4B-3

At least **60%** of apartments are naturally cross ventilated in the **first nine storeys** of the building.

Apartments at ten storeys or greater are deemed to be cross ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed

**TOTAL APT BETWEEN LEVELS 2 - 9 - 71**

**TOTAL COMPLIANT APT - 45**

**63% OF APARTMENTS ACHIEVE CROSS FLOW BETWEEN LEVEL 2 & 9**

**REQUIRED BY SEPP65 MIN. 60%**

REV	DESCRIPTION	DATE	DRAWN	APPROVED
A	FOR DA	30.08.2016	AZ	CZ
B	AMENDED FOR DA	16.01.2017	AZ	CZ

**NOTES**

1. All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancy is to be brought to the attention of the Designer.
2. Levels shown are approximate unless otherwise indicated.
3. Figure dimensions must be taken in preference to scaling.
4. All boundary lines must be verified by the Surveyor prior to commencement of any building work.
5. Where engineering drawings are required such must take precedence to this drawing.
6. Dimensions to be checked to Council requirements and AS 2000.1:1985.
7. All services to be located and verified by the Builder with relevant authorities before any building work commences.

**DISCLAIMER**  
This design and the associated documents are subject to copyright laws and may not be reproduced in any form without written consent from Algotry Zappia & Associates Pty Ltd.



Design: **villa + villa**  
architectural interiors graphics  
Unit 1, Level 1, 64 Rydalmere Street, Rydalmere, NSW 2110  
P.O. Box 985, Rydalmere, NSW 2110  
Tel: 02 9337 0000  
Fax: 02 9337 0001  
Email: info@villavilla.com.au  
www.villavilla.com.au

**ALGOTRY ZAPPIA & ASSOCIATES** Pty Ltd  
Building Designers & Consulting Civil & Structural Engineers  
Unit 1, Level 1, 64 Rydalmere Street, Rydalmere, NSW 2110  
P.O. Box 985, Rydalmere, NSW 2110  
Tel: 02 9337 0000  
Fax: 02 9337 0001  
Email: info@algotryzappia.com.au  
www.algotryzappia.com.au

Project: **PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002564 No. 10-14 THIRD AVE  
BLACKTOWN  
Client: **FIVE UNIT PTY/ LTD**  
Title: **CROSS VENTILATION ANALYSIS**

Drawn: N.Z.	Checked: CZ	Date: AUG 2016
Access Type: DA	Job #: 1393-15	Scale: 10 A1 1:300
Project #: P 4474	Sheet #: A503	Mark: B

# LEGEND

- MIN. 3 HOURS SOLAR ACCESS  
21ST JUNE
- MIN. 2 HOURS SOLAR ACCESS  
21ST JUNE
- NO SOLAR ACCESS  
21ST JUNE

## 21ST JUNE SOLAR ACCESS

TOTAL APT - 143

TOTAL COMPLIANT APT - 122

**85%** OF APARTMENTS ACHIEVE A MIN.  
OF 2 HOURS SOLAR ACCESS BETWEEN 9AM & 3PM  
REQUIRED BY SEPP65 MIN. 70%

MAX **14.6%** OF APARTMENTS RECEIVE NO  
DIRECT SUNLIGHT BETWEEN 9AM & 3PM  
MAX ALLOWED BY SEPP65 15%



Rev	Description	Date	Drawn	Checked
A	FOR QA	05.08.2016	NZ	CZ
B	AMENDED FOR QA	06.01.2017	NZ	CZ

Rev	Description	Date	Drawn	Checked
A	FOR QA	05.08.2016	NZ	CZ
B	AMENDED FOR QA	06.01.2017	NZ	CZ

**Notes:**

1. All dimensions and floor levels are to be verified by the builder prior to the commencement of any building work. Any discrepancy is to be brought to the attention of the designer.
2. Levels shown are approximate unless accompanied by reduced levels.
3. Figure dimensions must be taken in accordance with the building code.
4. All boundary dimensions must be verified by the surveyor prior to commencement of any building work.
5. Where engineering drawings are required, such must take precedence to this drawing.
6. Dimensions to be taken to the face of the wall unless otherwise indicated.
7. All services to be located and verified by the building work rules and authorities before any building work commences.

**COPYRIGHT**  
This drawing and the information contained herein are the copyright of the designer and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.



**Design Consultant**  
**villa + villa**  
ARCHITECTS  
10/11-13/15 BROADWAY, SYDNEY NSW 1585  
TEL: 02 9550 1111  
WWW.VILLAVILLA.COM.AU

**ALGORRY ZAPPIA & ASSOCIATES** Pty Ltd  
Building Designers & Consulting Civil & Structural Engineers

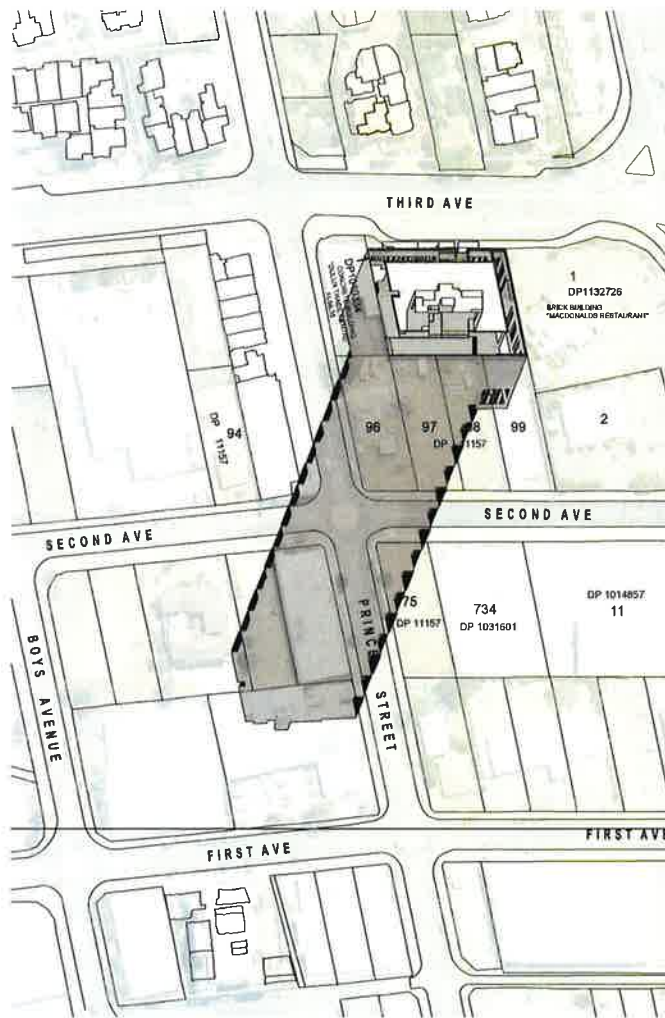
10/11-13/15 BROADWAY, SYDNEY NSW 1585  
TEL: 02 9550 1111  
WWW.AZAPPT.COM.AU

**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002564 No. 10-14 THIRD AVE  
BLACKTOWN

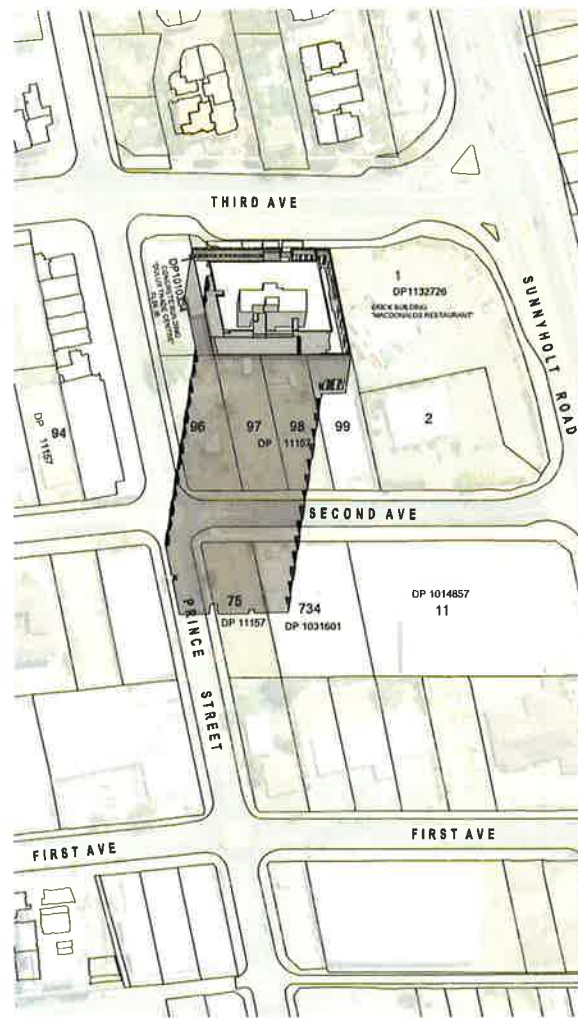
Client:  
**FIVE UNIT PTY LTD**  
Title:  
**SOLAR ANALYSIS**

Drawn	Checked	Date
NZ	CZ	AUG 2016
Author	App'd	Scale
DA	1303-15	1:300
Drawn #	Sheet #	Use
P 4474	A504	B

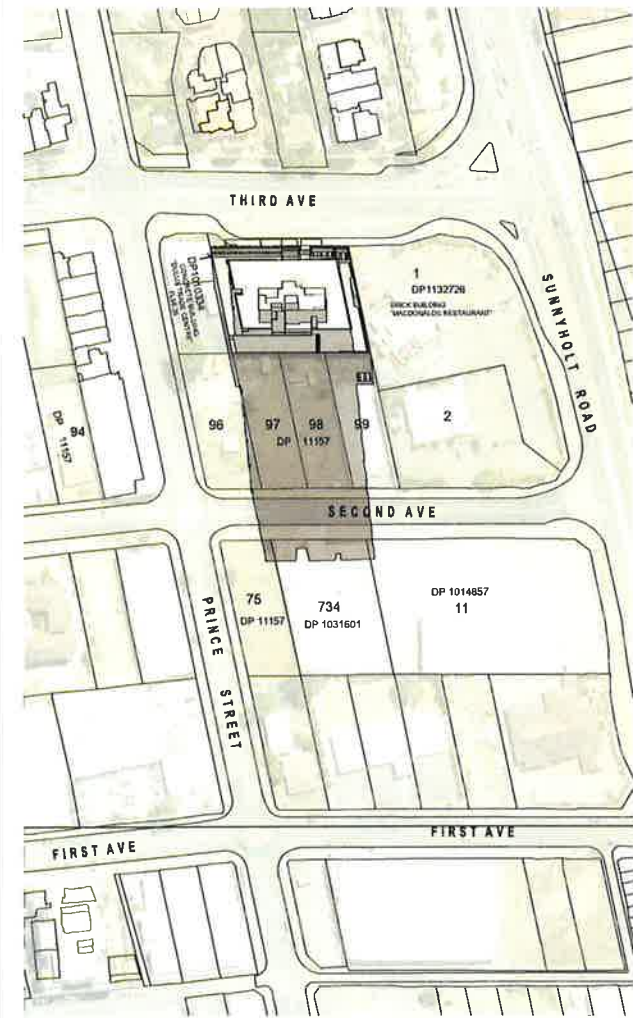




9 am - 21st JUNE SHADOW DIAGRAM  
SCALE 1:1000



10 am - 21st JUNE SHADOW DIAGRAM  
SCALE 1:1000

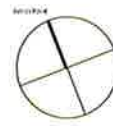


11 am - 21st JUNE SHADOW DIAGRAM  
SCALE 1:1000

Ref	Description	Date	Drawn	Revised
A	FOR DA	15/01/2017	NZ	CZ

**Comments:**  
 1. All dimensions and floor levels are to be verified by the client prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.  
 2. Levels shown are approximate unless accompanied by a level book.  
 3. All dimensions must be taken in preference to existing.  
 4. All floor levels must be verified by the client prior to the commencement of any building work.  
 5. All floor levels must be verified by the client prior to the commencement of any building work.  
 6. All dimensions must be taken in preference to existing.  
 7. All dimensions must be taken in preference to existing.  
 8. All dimensions must be taken in preference to existing.  
 9. All dimensions must be taken in preference to existing.  
 10. All dimensions must be taken in preference to existing.

**Copyright:**  
 This design and the associated documents are subject to copyright laws and may not be reproduced in any form without written consent from Alagorry Zappia & Associates Pty Ltd.



**Alagorry Zappia & Associates**  
 architects interior graphics  
 10/14 THIRD AVE, BLACKTOWN, NSW 2147  
 P.O. BOX 999, BLACKTOWN BUSINESS CENTRE, NSW 2147  
 ALAGORRY ZAPPIA & ASSOCIATES PTY LTD  
 ABN 62 111 111 111  
 11/11/11

**ALAGORRY ZAPPIA & ASSOCIATES** PTY LTD  
 Building Designers & Consulting Civil & Structural Engineers  
 10/14 THIRD AVE, BLACKTOWN, NSW 2147  
 P.O. BOX 999, BLACKTOWN BUSINESS CENTRE, NSW 2147  
 ALAGORRY ZAPPIA & ASSOCIATES PTY LTD  
 ABN 62 111 111 111  
 11/11/11

**PROPOSED MIXED USE DEVELOPMENT**  
 Lot 100 in DP1002564 No. 10-14 THIRD AVE  
 BLACKTOWN  
 Five Unit Pty/ Ltd  
 SHADOW DIAGRAMS

Drawn	Checked	Date
NZ	CZ	AUG 2016
Activity Type	Job #	Scale
DA	1363-15	A1 1:1000
Project #	Sheet #	Name
P 4474	A505	A

[illegible]

**villa + villa**  
 (villaggio - village) **gratuito**

È un'occasione unica per chi ama il mare e la natura. Villa + Villa, il nuovo concept di vacanze, vi offre un'esperienza unica e indimenticabile. Villa + Villa, il nuovo concept di vacanze, vi offre un'esperienza unica e indimenticabile.

ALBERGO VILLA + VILLA, VIA CANTIERI 10, 00187 ROMA  
 WWW.VILLA+VILLA.COM

a Site 4, Level 3, 84 Redburn Street, Liverpool, NSW 9170  
 P O Box 825, Liverpool Business Centre, NSW 9171  
 t 060 37373 / 0603 0303 1 9601 6903  
 e [advertising@jagony.com.au](mailto:advertising@jagony.com.au)  
 w [www.aljagony.com.au](http://www.aljagony.com.au)

Client  
FIVE UNIT PTY/ LTD

Title  
SHADOW DIAGRAM

Drawn N.Z.	Checked C.Z.	Date AUG 2018
Activity Type DA	Job # 1393-15	Score (P/A) 1/1000
Project # P 4474	Sheet # A506	Name A





3 pm - 21st JUNE SHADOW DIAGRAM  
SCALE 1:1000

Rev	Description	Date	Drawn	Checked
A	FOR DA	15.01.2017	NZ	CZ

- Design Notes**
- 1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
  - 2) Levels shown are representative unless accompanied by a reduced level.
  - 3) Proposed dimensions must be taken in preference to existing.
  - 4) All boundary dimensions must be verified by the surveyor prior to commencement of any building work.
  - 5) Where engineering drawings are required each must take precedence to this drawing.
  - 6) Structures to be designed to comply with requirements and AS 2600.2-1995.
  - 7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

**Copyright**  
This design and the associated documents are subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.

**Design Consultant**  
**villa + villa**  
architecture interiors graphics  
Unit 4, 14 ROBINSON ROAD, SYDNEY NSW 2000  
P: 02 9291 1467 F: 02 9291 1467  
E: info@villaandvilla.com.au  
1500231313 / 0800 0203 150016903  
P: 1500231313 / 0800 0203 150016903  
A507 - 1500231313

**ALGORRY ZAPPIA & ASSOCIATES** PTY LTD  
Building Designers & Consulting Civil & Structural Engineers  
a. Suite 4, Level 1, 14 Robinson Road, Sydney NSW 2000  
P.O. Box 893, Liverpool Business Centre, NSW 1571  
L: 0800 0203 150016903 F: 0800 0203 150016903  
e: admin@algorryzappia.com.au  
w: www.algorryzappia.com.au  
A507 - 1500231313

**Project**  
**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002564 No. 10-14 THIRD AVE  
BLACKTOWN  
**Client**  
**FIVE UNIT PTY/ LTD**  
**Shadow Diagrams**

Drawn NZ	Checked CZ	Date AUG 2018
Academy Type DA	Scale 1:1000	Scale Up At 1:1000
Project # P 4474	Sheet # A507	Map A

AVENUE


$$\text{F.S.R} \frac{14\,575.1\text{m}^3}{2380.0\text{m}^3} = 6.1$$

**PROPOSED MIXED USE DEVELOPMENT**  
Lot 100 in DP1002564 No. 10-14 THIRD AVE  
BLACKTOWN  
C.O.S.  
**FIVE UNIT PTY/ LTD**  
Title:  
**GFA DIAGRAMS**

Drawn N Z	Entered CZ	Date AUG 2016
Activity Type DA	Net # 1393-15	Score (2 of 4) 1100
Product # P 4474	Sheet # A508	Size A

Item	Description	Date	Drawn	Issued
A	FOUR	10.01.2017	117	57

7) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer;

8) Levels, locations and approximate values are to be verified by the Builder;

9) Figure dimensions must be used in preference to scaling;

10) Building elements may only be verified by the surveyor, prior to commencement of the building work;

11) Where any engineering drawings are required such must take full notice to this drawing;

12) Stormwater to be discharged to Council's sewerage mains at 45-100°C-1800;

13) All services to be located and verified by the Builder with relevant authorities before any building work commences;

**CONTRACT**

This design and the associated information is subject to copyright laws and may not be reproduced in any form without the consent of Ben-Ari Design & Associate Pty Ltd.

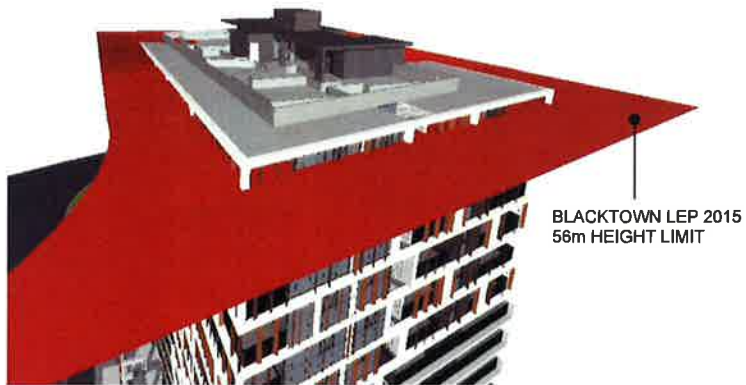
**villa + villa**  
 OPENING UP INTERIOR SPACES  
 Tel. +39 02 70644500 - 111 100 111  
 Via S. Vittore 10 - 20121 Milano  
 www.villaplusvilla.com

**ALGORRY ZAPPIA & ASSOCIATES** P.C.  
Building Designers & Consulting Civil & Structural Engineers

a. Suite 4, Level 1, 88 Hudson Street, Liverpool, NSW 2157  
 P.O. Box 885, Liverpool Business Centre, NSW 2157  
 T 02 9333 7333 / 9628 0302 F 02 9333 6903  
 E [office@agf.com.au](mailto:office@agf.com.au) [www.agf.com.au](http://www.agf.com.au)  
 W [www.agf.com.au](http://www.agf.com.au)

© 2004 Blackwell Publishing Ltd  
Journal of Internal Medicine 255: 105–112





Rev	Description	Date	Drawn	Checked
1	FOR DA	01/08/2017	RL	CZ

**NOTES**

- All dimensions and floor levels are to be verified by the Builder and to the satisfaction of any building work. Any discrepancies are to be brought to the attention of the designer.
- Levels shown are approximate unless otherwise indicated by structural details.
- Figure dimensions must be taken in preference to scaling.
- All building dimensions must be verified by the surveyor prior to commencement of any building work.
- Where engineering drawings are required such must take precedence in this drawing.
- Intended to be developed to Council's requirements and AS 1546.3-1:2005.
- All services to be located and verified by the Builder with relevant authorities before any building work commences.

**COPYRIGHT**  
This design and the associated documents are subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.

**Design Studio**  
**villa @ villa**  
Architecture interiors graphics  
Unit 1, 24 HORTON ROAD, SYDNEY NSW 2000  
PH: 02 9550 1000 FAX: 02 9550 1001  
EMAIL: STUDIO@VILLAVILLA.COM.AU  
VILLAVILLA.COM.AU  
VILLAVILLA.COM.AU

**ALGORRY ZAPPIA & ASSOCIATES** PTY LTD  
Building Designers & Consulting Civil & Structural Engineers  
Suite 4, Level 1, 84 Rathfriland Street, Liverpool, NSW 2157  
P.O. Box 895, Liverpool Business Centre, NSW 2157  
TEL: 02 9333 7600 FAX: 02 9333 7601  
E: alzy@alzy.com.au  
W: www.alzy.com.au

**Project**  
**PROPOSED MIXED USE DEVELOPMENT**  
Unit 100 in DA1002564 No. 10-14 THIRD AVE.  
BLACKTOWN  
**Client**  
FIVE UNIT PTY/ LTD  
**Title**  
HEIGHT PLANE VIEWS

Drawn N Z	Checked CZ	Date AUG 2016
Agency Type DA	Job # 1383-15	Scale of A1 1:111.94
Project # P 4474	Sheet # A509	Notes A

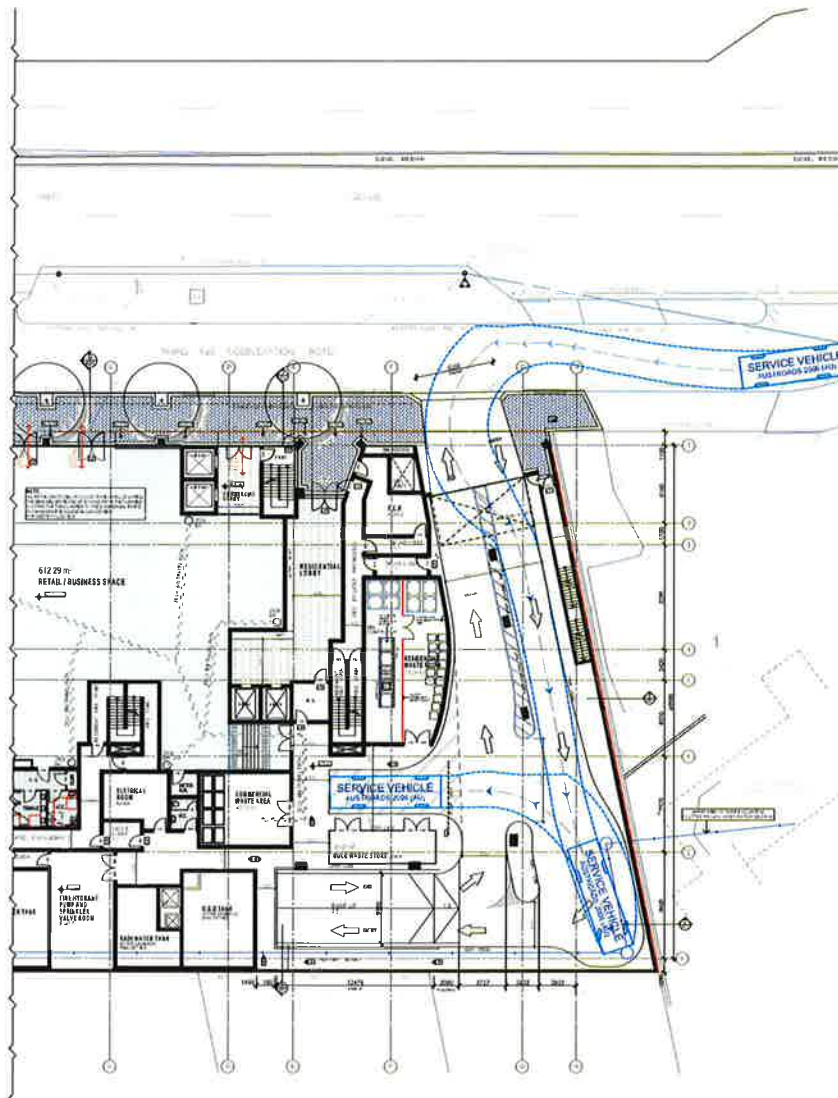


TOTAL AREA - 960m2

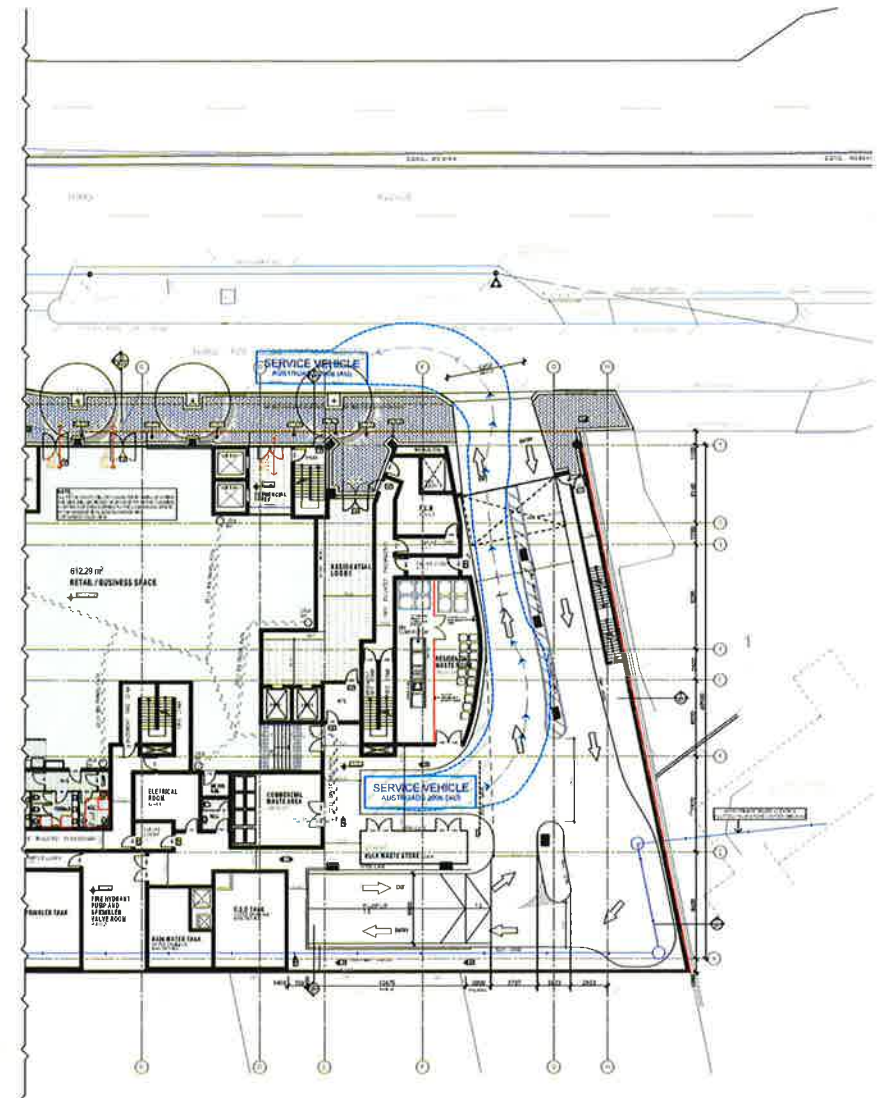


Drawn: N Z	Entered: CZ	Date: AUG 2016
Activity Type: CA	Job #: 1383-15	Scale (31 A): 1 200
Project #: P 4474	Sheet #: A510	Sheet: A





**ENTRY SWEEP PATH PLAN**  
1:200



**EXIT SWEEP PATH PLAN**  
1:200

Rev	Description	Date	Drawn	Checked
A	FOR D.A.	01.05.2017	02	02
B	AMENDED DRAWING WIDTH	07.07.2017	02	02

1) All dimensions and floor levels are to be verified by the client prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.  
2) Levels shown are approximate unless otherwise indicated by the designer.  
3) Floor dimensions must be taken in preference to walling.  
4) All building dimensions must be verified by the surveyor prior to commencement of any building work.  
5) Where engineering drawings are required such as steel joist girders to the drawing.  
6) Structures to be designed in accordance with the requirements of AS 1532.1:1995.  
7) All services to be detailed and verified by the building services engineer before any building work commences.  
8) COPYRIGHT:  
This design and the associated documents are subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.

Design: **villa @ villa**  
architectural interior spaces  
10/11, 12/13, 14/15, 16/17, 18/19, 20/21, 22/23, 24/25, 26/27, 28/29, 30/31, 32/33, 34/35, 36/37, 38/39, 40/41, 42/43, 44/45, 46/47, 48/49, 50/51, 52/53, 54/55, 56/57, 58/59, 60/61, 62/63, 64/65, 66/67, 68/69, 70/71, 72/73, 74/75, 76/77, 78/79, 80/81, 82/83, 84/85, 86/87, 88/89, 90/91, 92/93, 94/95, 96/97, 98/99, 100/101, 102/103, 104/105, 106/107, 108/109, 110/111, 112/113, 114/115, 116/117, 118/119, 120/121, 122/123, 124/125, 126/127, 128/129, 130/131, 132/133, 134/135, 136/137, 138/139, 140/141, 142/143, 144/145, 146/147, 148/149, 150/151, 152/153, 154/155, 156/157, 158/159, 160/161, 162/163, 164/165, 166/167, 168/169, 170/171, 172/173, 174/175, 176/177, 178/179, 180/181, 182/183, 184/185, 186/187, 188/189, 190/191, 192/193, 194/195, 196/197, 198/199, 200/201, 202/203, 204/205, 206/207, 208/209, 210/211, 212/213, 214/215, 216/217, 218/219, 220/221, 222/223, 224/225, 226/227, 228/229, 230/231, 232/233, 234/235, 236/237, 238/239, 240/241, 242/243, 244/245, 246/247, 248/249, 250/251, 252/253, 254/255, 256/257, 258/259, 260/261, 262/263, 264/265, 266/267, 268/269, 270/271, 272/273, 274/275, 276/277, 278/279, 280/281, 282/283, 284/285, 286/287, 288/289, 290/291, 292/293, 294/295, 296/297, 298/299, 300/301, 302/303, 304/305, 306/307, 308/309, 310/311, 312/313, 314/315, 316/317, 318/319, 320/321, 322/323, 324/325, 326/327, 328/329, 330/331, 332/333, 334/335, 336/337, 338/339, 340/341, 342/343, 344/345, 346/347, 348/349, 350/351, 352/353, 354/355, 356/357, 358/359, 360/361, 362/363, 364/365, 366/367, 368/369, 370/371, 372/373, 374/375, 376/377, 378/379, 380/381, 382/383, 384/385, 386/387, 388/389, 390/391, 392/393, 394/395, 396/397, 398/399, 400/401, 402/403, 404/405, 406/407, 408/409, 410/411, 412/413, 414/415, 416/417, 418/419, 420/421, 422/423, 424/425, 426/427, 428/429, 430/431, 432/433, 434/435, 436/437, 438/439, 440/441, 442/443, 444/445, 446/447, 448/449, 450/451, 452/453, 454/455, 456/457, 458/459, 460/461, 462/463, 464/465, 466/467, 468/469, 470/471, 472/473, 474/475, 476/477, 478/479, 480/481, 482/483, 484/485, 486/487, 488/489, 490/491, 492/493, 494/495, 496/497, 498/499, 500/501, 502/503, 504/505, 506/507, 508/509, 510/511, 512/513, 514/515, 516/517, 518/519, 520/521, 522/523, 524/525, 526/527, 528/529, 530/531, 532/533, 534/535, 536/537, 538/539, 540/541, 542/543, 544/545, 546/547, 548/549, 550/551, 552/553, 554/555, 556/557, 558/559, 560/561, 562/563, 564/565, 566/567, 568/569, 570/571, 572/573, 574/575, 576/577, 578/579, 580/581, 582/583, 584/585, 586/587, 588/589, 590/591, 592/593, 594/595, 596/597, 598/599, 600/601, 602/603, 604/605, 606/607, 608/609, 610/611, 612/613, 614/615, 616/617, 618/619, 620/621, 622/623, 624/625, 626/627, 628/629, 630/631, 632/633, 634/635, 636/637, 638/639, 640/641, 642/643, 644/645, 646/647, 648/649, 650/651, 652/653, 654/655, 656/657, 658/659, 660/661, 662/663, 664/665, 666/667, 668/669, 670/671, 672/673, 674/675, 676/677, 678/679, 680/681, 682/683, 684/685, 686/687, 688/689, 690/691, 692/693, 694/695, 696/697, 698/699, 700/701, 702/703, 704/705, 706/707, 708/709, 710/711, 712/713, 714/715, 716/717, 718/719, 720/721, 722/723, 724/725, 726/727, 728/729, 730/731, 732/733, 734/735, 736/737, 738/739, 740/741, 742/743, 744/745, 746/747, 748/749, 750/751, 752/753, 754/755, 756/757, 758/759, 760/761, 762/763, 764/765, 766/767, 768/769, 770/771, 772/773, 774/775, 776/777, 778/779, 780/781, 782/783, 784/785, 786/787, 788/789, 790/791, 792/793, 794/795, 796/797, 798/799, 800/801, 802/803, 804/805, 806/807, 808/809, 810/811, 812/813, 814/815, 816/817, 818/819, 820/821, 822/823, 824/825, 826/827, 828/829, 830/831, 832/833, 834/835, 836/837, 838/839, 840/841, 842/843, 844/845, 846/847, 848/849, 850/851, 852/853, 854/855, 856/857, 858/859, 860/861, 862/863, 864/865, 866/867, 868/869, 870/871, 872/873, 874/875, 876/877, 878/879, 880/881, 882/883, 884/885, 886/887, 888/889, 890/891, 892/893, 894/895, 896/897, 898/899, 900/901, 902/903, 904/905, 906/907, 908/909, 910/911, 912/913, 914/915, 916/917, 918/919, 920/921, 922/923, 924/925, 926/927, 928/929, 930/931, 932/933, 934/935, 936/937, 938/939, 940/941, 942/943, 944/945, 946/947, 948/949, 950/951, 952/953, 954/955, 956/957, 958/959, 960/961, 962/963, 964/965, 966/967, 968/969, 970/971, 972/973, 974/975, 976/977, 978/979, 980/981, 982/983, 984/985, 986/987, 988/989, 990/991, 992/993, 994/995, 996/997, 998/999, 1000/1001, 1002/1003, 1004/1005, 1006/1007, 1008/1009, 1010/1011, 1012/1013, 1014/1015, 1016/1017, 1018/1019, 1020/1021, 1022/1023, 1024/1025, 1026/1027, 1028/1029, 1030/1031, 1032/1033, 1034/1035, 1036/1037, 1038/1039, 1040/1041, 1042/1043, 1044/1045, 1046/1047, 1048/1049, 1050/1051, 1052/1053, 1054/1055, 1056/1057, 1058/1059, 1060/1061, 1062/1063, 1064/1065, 1066/1067, 1068/1069, 1070/1071, 1072/1073, 1074/1075, 1076/1077, 1078/1079, 1080/1081, 1082/1083, 1084/1085, 1086/1087, 1088/1089, 1090/1091, 1092/1093, 1094/1095, 1096/1097, 1098/1099, 1100/1101, 1102/1103, 1104/1105, 1106/1107, 1108/1109, 1110/1111, 1112/1113, 1114/1115, 1116/1117, 1118/1119, 1120/1121, 1122/1123, 1124/1125, 1126/1127, 1128/1129, 1130/1131, 1132/1133, 1134/1135, 1136/1137, 1138/1139, 1140/1141, 1142/1143, 1144/1145, 1146/1147, 1148/1149, 1150/1151, 1152/1153, 1154/1155, 1156/1157, 1158/1159, 1160/1161, 1162/1163, 1164/1165, 1166/1167, 1168/1169, 1170/1171, 1172/1173, 1174/1175, 1176/1177, 1178/1179, 1180/1181, 1182/1183, 1184/1185, 1186/1187, 1188/1189, 1190/1191, 1192/1193, 1194/1195, 1196/1197, 1198/1199, 1200/1201, 1202/1203, 1204/1205, 1206/1207, 1208/1209, 1210/1211, 1212/1213, 1214/1215, 1216/1217, 1218/1219, 1220/1221, 1222/1223, 1224/1225, 1226/1227, 1228/1229, 1230/1231, 1232/1233, 1234/1235, 1236/1237, 1238/1239, 1240/1241, 1242/1243, 1244/1245, 1246/1247, 1248/1249, 1250/1251, 1252/1253, 1254/1255, 1256/1257, 1258/1259, 1260/1261, 1262/1263, 1264/1265, 1266/1267, 1268/1269, 1270/1271, 1272/1273, 1274/1275, 1276/1277, 1278/1279, 1280/1281, 1282/1283, 1284/1285, 1286/1287, 1288/1289, 1290/1291, 1292/1293, 1294/1295, 1296/1297, 1298/1299, 1300/1301, 1302/1303, 1304/1305, 1306/1307, 1308/1309, 1310/1311, 1312/1313, 1314/1315, 1316/1317, 1318/1319, 1320/1321, 1322/1323, 1324/1325, 1326/1327, 1328/1329, 1330/1331, 1332/1333, 1334/1335, 1336/1337, 1338/1339, 1340/1341, 1342/1343, 1344/1345, 1346/1347, 1348/1349, 1350/1351, 1352/1353, 1354/1355, 1356/1357, 1358/1359, 1360/1361, 1362/1363, 1364/1365, 1366/1367, 1368/1369, 1370/1371, 1372/1373, 1374/1375, 1376/1377, 1378/1379, 1380/1381, 1382/1383, 1384/1385, 1386/1387, 1388/1389, 1390/1391, 1392/1393, 1394/1395, 1396/1397, 1398/1399, 1400/1401, 1402/1403, 1404/1405, 1406/1407, 1408/1409, 1410/1411, 1412/1413, 1414/1415, 1416/1417, 1418/1419, 1420/1421, 1422/1423, 1424/1425, 1426/1427, 1428/1429, 1430/1431, 1432/1433, 1434/1435, 1436/1437, 1438/1439, 1440/1441, 1442/1443, 1444/1445, 1446/1447, 1448/1449, 1450/1451, 1452/1453, 1454/1455, 1456/1457, 1458/1459, 1460/1461, 1462/1463, 1464/1465, 1466/1467, 1468/1469, 1470/1471, 1472/1473, 1474/1475, 1476/1477, 1478/1479, 1480/1481, 1482/1483, 1484/1485, 1486/1487, 1488/1489, 1490/1491, 1492/1493, 1494/1495, 1496/1497, 1498/1499, 1500/1501, 1502/1503, 1504/1505, 1506/1507, 1508/1509, 1510/1511, 1512/1513, 1514/1515, 1516/1517, 1518/1519, 1520/1521, 1522/1523, 1524/1525, 1526/1527, 1528/1529, 1530/1531, 1532/1533, 1534/1535, 1536/1537, 1538/1539, 1540/1541, 1542/1543, 1544/1545, 1546/1547, 1548/1549, 1550/1551, 1552/1553, 1554/1555, 1556/1557, 1558/1559, 1560/1561, 1562/1563, 1564/1565, 1566/1567, 1568/1569, 1570/1571, 1572/1573, 1574/1575, 1576/1577, 1578/1579, 1580/1581, 1582/1583, 1584/1585, 1586/1587, 1588/1589, 1590/1591, 1592/1593, 1594/1595, 1596/1597, 1598/1599, 1600/1601, 1602/1603, 1604/1605, 1606/1607, 1608/1609, 1610/1611, 1612/1613, 1614/1615, 1616/1617, 1618/1619, 1620/1621, 1622/1623, 1624/1625, 1626/1627, 1628/1629, 1630/1631, 1632/1633, 1634/1635, 1636/1637, 1638/1639, 1640/1641, 1642/1643, 1644/1645, 1646/1647, 1648/1649, 1650/1651, 1652/1653, 1654/1655, 1656/1657, 1658/1659, 1660/1661, 1662/1663, 1664/1665, 1666/1667, 1668/1669, 1670/1671, 1672/1673, 1674/1675, 1676/1677, 1678/1679, 1680/1681, 1682/1683, 1684/1685, 1686/1687, 1688/1689, 1690/1691, 1692/1693, 1694/1695, 1696/1697, 1698/1699, 1700/1701, 1702/1703, 1704/1705, 1706/1707, 1708/1709, 1710/1711, 1712/1713, 1714/1715, 1716/1717, 1718/1719, 1720/1721, 1722/1723, 1724/1725, 1726/1727, 1728/1729, 1730/1731, 1732/1733, 1734/1735, 1736/1737, 1738/1739, 1740/1741, 1742/1743, 1744/1745, 1746/1747, 1748/1749, 1750/1751, 1752/1753, 1754/1755, 1756/1757, 1758/1759, 1760/1761, 1762/1763, 1764/1765, 1766/1767, 1768/1769, 1770/1771, 1772/1773, 1774/1775, 1776/1777, 1778/1779, 1780/1781, 1782/1783, 1784/1785, 1786/1787, 1788/1789, 1790/1791, 1792/1793, 1794/1795, 1796/1797, 1798/1799, 1800/1801, 1802/1803, 1804/1805, 1806/1807, 1808/1809, 1810/1811, 1812/1813, 1814/1815, 1816/1817, 1818/1819, 1820/1821, 1822/1823, 1824/1825, 1826/1827, 1828/1829, 1830/1831, 1832/1833, 1834/1835, 1836/1837, 1838/1839, 1840/1841, 1842/1843, 1844/1845, 1846/1847, 1848/1849, 1850/1851, 1852/1853, 1854/1855, 1856/1857, 1858/1859, 1860/1861, 1862/1863, 1864/1865, 1866/1867, 1868/1869, 1870/1871, 1872/1873, 1874/1875, 1876/1877, 1878/1879, 1880/1881, 1882/1883, 1884/1885, 1886/1887, 1888/1889, 1890/1891, 1892/1893, 1894/1895, 1896/1897, 1898/1899, 1900/1901, 1902/1903, 1904/1905, 1906/1907, 1908/1909, 1910/1911, 1912/1913, 1914/1915, 1916/1917, 1918/1919, 1920/1921, 1922/1923, 1924/1925, 1926/1927, 1928/1929, 1930/1931, 1932/1933, 1934/1935, 1936/1937, 1938/1939, 1940/1941, 1942/1943, 1944/1945, 1946/1947, 1948/1949, 1950/1951, 1952/1953, 1954/1955, 1956/1957, 1958/1959, 1960/1961, 1962/1963, 1964/1965, 1966/1967, 1968/1969, 1970/1971, 1972/1973, 1974/1975, 1976/1977, 1978/1979, 1980/1981, 1982/1983, 1984/1985, 1986/1987, 1988/1989, 1990/1991, 1992/1993, 1994/1995, 1996/1997, 1998/1999, 2000/2001, 2002/2003, 2004/2005, 2006/2007, 2008/2009, 2010/2011, 2012/2013, 2014/2015, 2016/2017, 2018/2019, 2020/2021, 2022/2023, 2024/2025, 2026/2027, 2028/2029, 2030/2031, 2032/2033, 2034/2035, 2036/2037, 2038/2039, 2040/2041, 2042/2043, 2044/2045, 2046/2047, 2048/2049, 2050/2051, 2052/2053, 2054/2055, 2056/2057, 2058/2059, 2060/2061, 2062/2063, 2064/2065, 2066/2067, 2068/2069, 2070/2071, 2072/2073, 2074/2075, 2076/2077, 2078/2079, 2080/2081, 2082/2083, 2084/2085, 2086/2087, 2088/2089, 2090/2091, 2092/2093, 2094/2095, 2096/2097, 2098/2099, 2100/2101, 2102/2103, 2104/2105, 2106/2107, 2108/2109, 2110/2111, 2112/2113, 2114/2115, 2116/2117, 2118/2119, 2120/2121, 2122/2123, 2124/2125, 2126/2127, 2128/2129, 2130/2131, 2132/2133, 2134/2135, 2136/2137, 2138/2139, 2140/2141, 2142/2143, 2144/2145, 2146/2147, 2148/2149, 2150/2151, 2152/2153, 2154/2155, 2156/2157, 2158/2159, 2160/2161, 2162/2163, 2164/2165, 2166/2167, 2168/2169, 2170/2171, 2172/2173, 2174/2175, 2176/2177, 2178/2179, 2180/2181, 2182/2183, 2184/2185, 2186/2187, 2188/2189, 2190/2191, 2192/2193, 2194/2195, 2196/2197, 2198/2199, 2200/2201, 2202/2203, 2204/2205, 2206/2207, 2208/2209, 2210/2211, 2212/2213, 2214/2215, 2216/2217, 2218/2219, 2220/2221, 2222/2223, 2224/2225, 2226/2227, 2228/2229, 2230/2231, 2232/2233, 2234/2235, 2236/2237, 2238/2239, 2240/2241, 2242/2243, 2244/2245, 2246/2247, 2248/2249, 2250/2251, 2252/2253, 2254/2255, 2256/2257, 2258/2259, 2260/2261, 2262/2263, 2264/2265, 2266/2267, 2268/2269, 2270/2271, 2272/2273, 2274/2275, 2276/2277, 2278/2279, 2280/2281, 2282/2283, 2284/2285, 2286/2287, 2288/2289, 2290/2291, 2292/2293, 2294/2295, 2296/2297, 2298/2299, 2300/2301, 2302/2303, 2304/2305, 2306/2307, 2308/2309, 2310/2311, 2312/

# Mixed Used Development - Landscape Concept

10-14 Third Avenue, Blacktown, NSW



..... EXTENT OF DA

## LANDSCAPE SHEET REGISTER

DRAWING	TITLE	REVISION	PAGE
33-16.00	COVERSHEET	B	1 OF 5
33-15.01	PALETTES, SCHEDULE, NOTES & DETAILS	B	2 OF 5
33-15.02	GROUND FLOOR LANDSCAPE CONCEPT PLAN	B	3 OF 5
33-15.03	PODIUM LEVEL LANDSCAPE CONCEPT PLAN	B	4 OF 5
33-15.04	ROOF LEVEL LANDSCAPE CONCEPT PLAN	B	5 OF 5



RESIDENTIAL LANDSCAPE  
CONCEPT PLAN



Project Title  
**MULTI PURPOSE DEVELOPMENT**  
Drawing Title  
**COVERSHEET**

Scale: 1:100  
Client: CIR Construction Pty Ltd  
Drawing Date: 19.07.2016  
Drawing Checked: HW/D6  
Drawing Number: 33-16





## SOFTSCAPE PALETTE



## SOFTSCAPE PALETTE



## HARDSCAPE PALETTE



## CHARACTER IMAGES



### MAINTENANCE SCHEDULE

The consultation program shall include, but not be limited to, the following items:

- Regular maintenance: Periodic routine maintenance for a period of six months after practical completion.
- Program to include but not limited to: plant establishment, watering, weeding, mulching, pruning, spraying, and generally maintaining the site in a neat and tidy condition.
- Watering: Watering of plants and turf should be done in accordance with Council Sydney Water watering instructions.
- Fertilising: Apply an appropriate lawn fertilizer, at manufacturer's rates, after three weeks of installation. Fertiliser to be regularly reduced and evenly applied for healthy lawn growth.
- Mulch: Mulch shall be carried out to meet Australian Standard AS4372 (Mulch of Organic Materials) and shall comply with Council's Tree Protection Order.
- Mulching: Mulch shall be carried out to meet Australian Standard AS4374 (Mulch of Organic Materials) and shall comply with Council's Tree Protection Order.

Insects: Report insects in all insect rooms.

Disease and Pest Control: If pathological disease or insect pest appears, they are to be controlled using organic methods in part and chemical control in the event of a severe pest or disease, at manufacturer's rates, with prior consent of client.

Repairs: Repairs to plants and turf should be done in accordance with Council Sydney Water watering instructions.

Pruning: Pruning must be carried out to meet Australian Standard AS4372 (Pruning of Organic Materials) and shall comply with Council's Tree Protection Order.

Mulching: Mulch shall be carried out to meet Australian Standard AS4374 (Mulch of Organic Materials) and shall comply with Council's Tree Protection Order.

### ON SLAB PLANTER BEDS

All on slab planter beds are to be built on 30mm drainage covered over membrane protection board. All water proofing and drainage outlets are to be engineered detail. Drainage call is to be installed with grommets to allow all plants and a 30mm depth sand bedding layer. Bed down below installation for drainage plants and no.

### PLANTS

All plants which have been discussed, pursuant to section 7.4.8 of the Planning and Development Act 1992, to be Hazardous Plants within the area of Murrumbidgee City Council shall be removed on site and replaced with appropriate indigenous or native species.

All plants are to remain on site and delivery receipts or copies of plant purchase, stating the species, amount, and container size of plants, shall be made available to Council's Construction Services or Private Center to facilitate verification that the landscape plan and conditions of contract have been implemented.

### MULCH

Mulch shall be ANL Forest Blend or similar, which is best suited to the plant type and climate zone. Mulch shall be carried out by the contractor with care taken to the project manager. Mulch shall be free of soil, weed seeds or any other foreign matter. Spread mulch evenly to a depth of 75mm over all garden beds. Make sure mulch surface is smooth and even.

### GRAVEL

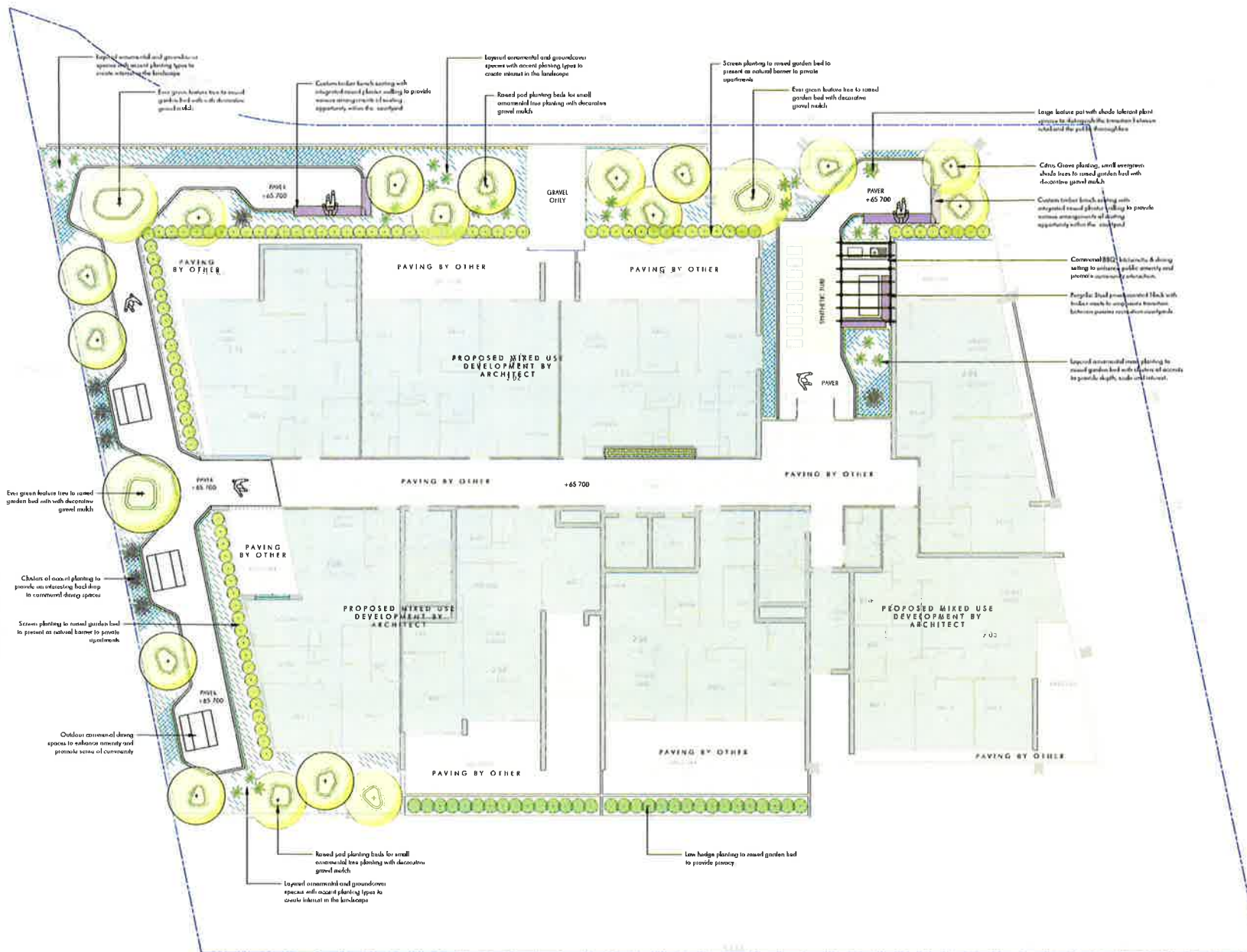
Gravel to be placed in designated areas as shown on plan. Install 5-10mm Maroon White gravel at 100mm Maximum Depth. Make sure evenly spread gravel.

33-16 Indicative Plant Schedule by District								
Code	Genus	Species	Hybrid/Cultivar	Common Name	Full Size	Height	Width	Spacing
<b>Trees</b>								
CJ 5	Citrus	limon		Dwarf Lemon Tree	75L	4	4	As Shown
CJ 10	Citrus	sinensis	'Washington Navel'	Washington Navel Orange	75L	4	4	As Shown
OL 5	Olea	europaea		Little Olive	75L	5	5	As Shown
HB 10	Hibiscus	illiciae	'Rubra'	Red Hibiscus	100L	4	2	As Shown
<b>Shrubs</b>								
AC 10	Acmena	smithii	'Allyn Magic'	Dwarf Lily Pilly	200mm	1	1	As Shown
BA 10	Banksia	spendula	'Birthdayschild'	Dwarf Banksia	200mm	0.5	0.5	2/m <sup>2</sup>
BI 10	Rhaphiolepis	indica		Indian Hawthorn	200mm	1.5	1.5	As Shown
SY 10	Syringium	australe		'Kissel' Lily Pilly	200mm	4	1.5	As Shown
WA 10	Washingtonia	fruticosa	'Grey Box'	Canal Rosemary	200mm	1	1	300mm centres
<b>Accents</b>								
AG 10	Agave	attenuata x ocahui	'Blue Glow'	Blue Glow Century Plant	200mm	0.6	0.6	As Shown
SI 10	Sirelitzia	juncea		Flamingo-leaved Sirelitzia	200mm	1.2	1	As Shown
<b>Groundcover &amp; Grasses</b>								
DI 10	Dianella	caerulea	'Little Jess'	Little Jess Fern Lily	Tube	0.4	0.4	3/m <sup>2</sup>
DI 10	Dichondra	repens	'Silver Falls'	Silver Falls	Tube	0.1	0.5	5/m <sup>2</sup>
HE 10	Helichrysum	petiolare	'White Licorice'	Licorice plant	Tube	1	1	As Shown
IP 10	Ipomoea	batatas		Sweetheart Purple	Tube	0.7	1	1/m <sup>2</sup>
LO 10	Lomandra	longistylis	'Nyallo'	Blue Lomandra	Tube	0.8	0.8	4/m <sup>2</sup>
OP 10	Ophiopogon	intermedius	'Argenteomarginatus'	Alto Grass	Tube	0.6	0.6	5/m <sup>2</sup>
HI 10	Hibbertia	scandens		Snake Vine	Tube	0.3	2	2/m <sup>2</sup>









- LEGEND**
- PROPOSED TREE
  - PROPOSED GARDEN BED
  - PROPOSED FEATURE PLANT & POT
  - PROPOSED SCREEN PLANTING
  - STEEL EDGE
  - POLISHED CONCRETE PAVEMENT
  - PAVING TYPE 1
  - DECORATIVE GRAVEL
  - SYNTHETIC TURF
  - PAVING STEPPERS
  - PROPOSED HARDWOOD TIMBER DECKING
  - CLAY SEGMENTAL PAVES TO STREET VERGE
  - CLAY PAVES HEADER COURSE TO STREET VERGE
  - STREET TREE PIT TO COUNCIL SPECIFICATION
  - PERGOLA STEEL (BLACK) AND TIMBER BATTENS
  - ARCHITECT'S LIGHTWEIGHT STEEL WITH TIMBER BATTENS
  - BLACK TUBE FENCING AND LOCKABLE GATE TO DRYING AREA
  - RETRACTABLE CLOTHES LINE
  - BAMBOO VEGETABLE GARDEN BEDS
  - TIMBER BENCH SEAT
  - BAMBOO PLANTER BED WALLING (1000MM HEIGHT)
  - BARBECUE KITCHENETTE
  - OUTDOOR TABLE SEATING
  - OUTDOOR PIVOT POKIG TABLE
  - MOVABLE FURNITURE
  - SITE BOUNDARY





Indicative image of outdoor BBQ and entertainment seating



Indicative image of pod garden beds with feature tree planting



Indicative image of productive garden space



Indicative image of Outdoor ping pong tables to enhance active recreation

# LEGEND

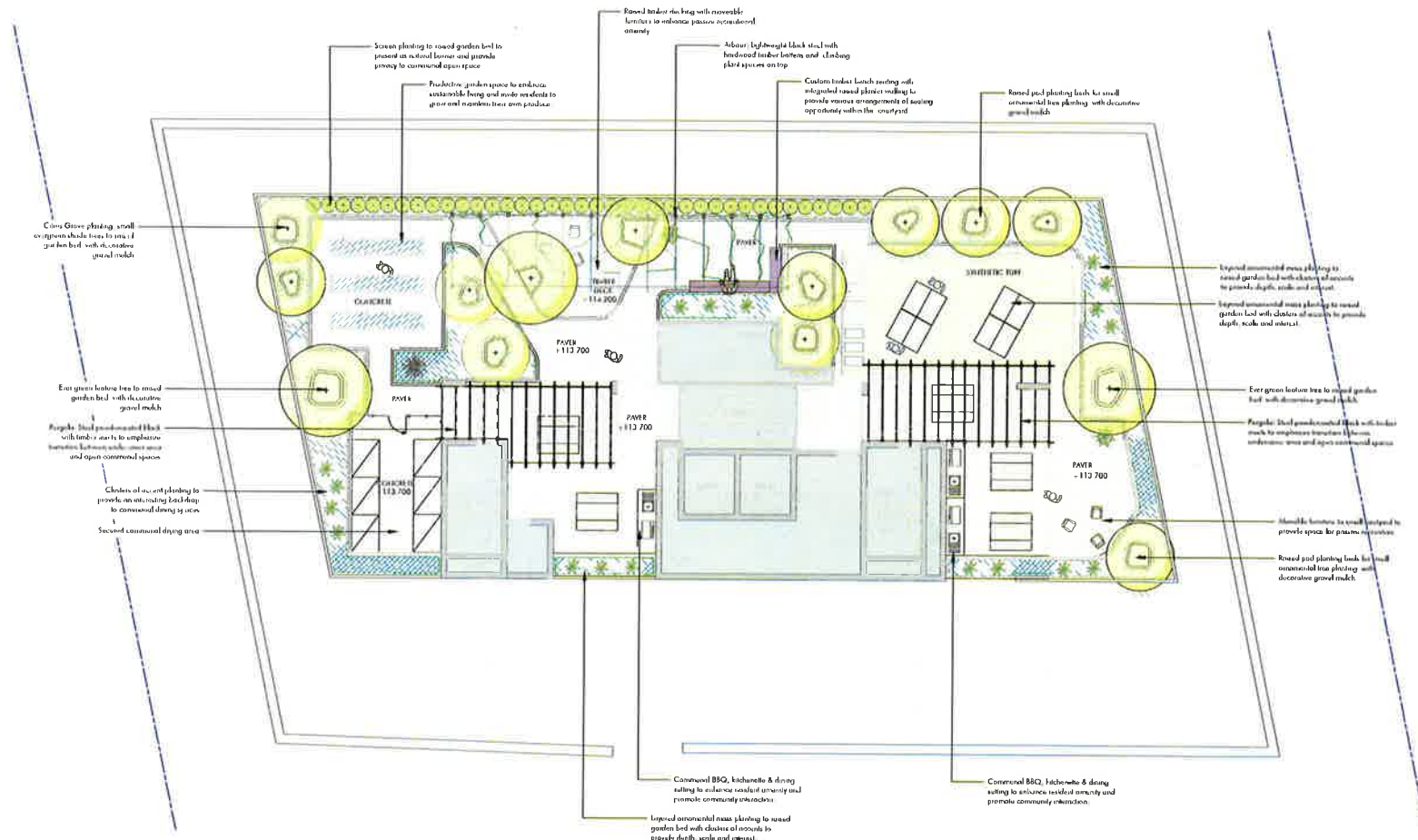
- PROPOSED TREE
- PROPOSED GARDEN BED
- PROPOSED FEATURE PLANT & POT
- PROPOSED SCREEN PLANTER
- STEEL
- STEEL EDGE
- POLISHED CONCRETE PAVEMENT
- PAVING TYPE 1
- DECORATIVE GRAVEL
- SYNTHETIC TURF
- PAVES STEPPERS IN SYNTHETIC TURF
- PROPOSED HARDWOOD TIMBER DECKING
- CLAY SEGMENTAL PAVES TO STREET VERGE
- CLAY PAVES HEADER COURSE TO STREET VERGE
- STREET TREE PIT TO COUNCIL SPECIFICATION
- PERGOLA STEEL (BLACK) AND TIMBER BATTENS
- ARBOUR: LIGHTWEIGHT STEEL WITH TIMBER BATTENS
- BLACK TUBE FENCING AND LOCKABLE GATE TO DRIVEWAY AREA
- RETRACTABLE CLOTHES LINE
- RAISED VEGETABLE GARDEN BEDS
- TIMBER BENCH SEAT
- RAISED PLANTER BED WALLING (1000MM HEIGHT)
- BARBECUE KITCHENETTE
- OUTDOOR TABLE SEATING
- OUTDOOR PING PONG TABLE
- MOVABLE FURNITURE
- SITE BOUNDARY



ARBOUR: Lightweight black steel with hardwood timber battens and climbing plant species on top



PERGOLA: Black powdercoated steel with hardwood timber battens





## Assessment against planning controls

### 1 Environmental Planning and Assessment Act 1979

#### a. Section 4.15 'Heads of Consideration'

The development satisfies the matters for consideration under Section 4.15 of the Act as detailed below.

Heads of Consideration Section 4.15	Comment	Complies
<p>a. The provisions of:</p> <ul style="list-style-type: none"> <li>(i) Any environmental planning instrument (EPI)</li> <li>(ii) Any development control plan (DCP)</li> <li>(iii) The regulations</li> </ul>	<p>The proposal is considered to be consistent with the relevant EPIs, including BLEP 2015, SREP 20, SEPP (Infrastructure) 2007, SEPP 55 Remediation of Land, SEPP BASIX 2004 and the 9 'design quality principles' of SEPP 65.</p> <p>The proposed development is a permissible land use within the B4 Mixed Use zone and satisfies the zone objectives outlined under BLEP 2015. The applicant has submitted a request to vary this development standard pursuant to Clause 4.6 of the Blacktown LEP 2015. The height control is varied by up to 6.5 m.</p> <p>The Blacktown DCP applies to the site. The proposed development is compliant with the relevant numerical controls established under the DCP.</p>	Yes
<p>b. The likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts on the locality</p>	<p>It is considered that the likely impacts of the development, including traffic, noise, parking and access, design, bulk and scale, overshadowing, privacy, waste management and stormwater management have been satisfactorily addressed.</p> <p>A site analysis was undertaken to ensure that the proposed development will have minimal impacts on surrounding properties.</p> <p>In view of the above it is believed that the proposed development will not have any unfavourable social, economic or environmental impacts.</p>	Yes
<p>c. The suitability of the site for the development</p>	<p>The subject site is zoned B4 Mixed Use with a 56 m building height limit under BLEP 2015. Shop top housing is permissible on the site with development consent.</p> <p>The site has an area and configuration that is suited to this form of development. The design solution is based on sound site analysis and responds positively to the different types of land uses adjoining the site. The site is located within close proximity to Blacktown Railway Station, Blacktown bus interchange and Blacktown CBD. The site is also located near services, facilities and a major arterial road network, making it suitable for higher residential densities.</p>	Yes

Heads of Consideration Section 4.15	Comment	Complies
d. Any submissions made in accordance with this Act, or the regulations	One submission was received from notification of the DA. The submission identifies that they support the application but want to ensure that the proposal considers the 24 hour trade of the McDonald's restaurant adjacent to the site. The applicant's acoustic assessment suitably addresses this matter and suitable conditions of consent have been imposed to ensure implementation of the attenuation measures as outlined in the recommendations of the acoustic report. The submission does not warrant refusal of the application.	Yes
e. The public interest	It is considered that no adverse matters relating to the public interest arise from the proposal. The proposal provides high quality housing stock and provides for a wider range of housing diversity within the Blacktown City area.	Yes

## 2 State Environmental Planning Policy (State and Regional Development) 2011

The Sydney Planning Panel (SPP) is the consent authority for all development with a capital investment value (CIV) of over \$20 million. As the DA has a CIV of \$42.7 million, Council is responsible for the assessment of the DA and determination of the application is to be made by the SPP.

## 3 State Environmental Planning Policy (Infrastructure) 2007

The SEPP ensures that Roads and Maritime Services (RMS) is given the opportunity to comment on development nominated as 'traffic generating development' under Schedule 3 of the SEPP. The development was referred to RMS, who raised no concern with the development subject to conditions of consent.

## 4 State Environmental Planning Policy No. 55 – Remediation of Land

SEPP 55 aims to 'provide a State wide planning approach to the remediation of contaminated land'. Clause 7 requires a consent authority to consider whether the land is contaminated and if it is suitable or can be remediated to be made suitable for the proposed development, prior to granting of development consent.

As part of the DA, a contamination screening and salinity assessment prepared by Environmental Investigations Services was submitted. The report concludes that the risk of widespread significant soil contamination in the development area is relatively low. However, during development works, if necessary, excavated material should be sampled to confirm the conclusions of the report. To ensure these works are undertaken prior to the release of a Construction Certificate on the site for the proposed development, suitable conditions will be imposed. The conditions will require validation to ensure that the site is made suitable for residential development without any limitations under the NEPM guidelines.

## 5 State Environmental Planning Policy No. 65 – Design Quality of Residential Apartment Development

State Environmental Planning Policy No. 65 (SEPP 65) – *Design Quality of Residential Apartment Development* applies to the assessment of Development Applications for residential flat buildings 3 or more storeys in height and containing at least 4 dwellings.



*i. Clause 28 Determination of development applications*

Clause 28 of SEPP 65 requires a consent authority to take into consideration:

- (a) the advice (if any) obtained from the design review panel
- (b) the design quality of the development when evaluated in accordance with the design quality principles, and
- (c) the Apartment Design Guide.

Blacktown City Council does not have a design review panel. However, Council's assessing officer's comments in relation to the 9 design quality principles and assessment against the relevant design concepts of the ADG appears below. The development is considered to comply with the 9 design principles and the ADG.

Principle 1: Context and Neighbourhood Character	
Control	Town Planning Comment
<p>Good design responds and contributes to its context. Context is the key natural and built features of an area, their relationship and the character they create when combined. It also includes social, economic, health and environmental conditions.</p> <p>Responding to context involves identifying the desirable elements of an area's existing or future character. Well-designed buildings respond to and enhance the qualities and identity of the area including the adjacent sites, streetscape and neighbourhood.</p>	<p>The design responds to the context of the site within the Blacktown CBD. The development does not comply with the maximum height limit established by the Blacktown Local Environmental Plan 2015 by 6.5 m. Please refer to attachment 8 which demonstrates that the proposed height is supportable given the breach is created by lift overruns and roof-top plant storage areas.</p> <p>Notwithstanding that, the proposed height breach does not intend to increase density nor compromise a good design, and does not result in detrimental overshadowing issues to the surrounding neighbours.</p> <p>The development meets the objectives of the B4 Mixed Use zone and contributes to the social and economic diversity of the Blacktown local area through the provision of retail, business and residential apartments. The building responds to the streetscape providing an active street frontage and building setbacks consistent with those envisaged for the CBD.</p>
Principle 2: Built Form and Scale	
Control	Town Planning Comment
<p>Good design achieves a scale, bulk and height appropriate to the existing or desired future character of the street and surrounding buildings.</p> <p>Good design also achieves an appropriate built form for a site and the building's purpose in terms of building alignments, proportions, building type, articulation and the manipulation of building elements.</p> <p>Appropriate built form defines the public domain, contributes to the character of streetscapes and parks, including their views and vistas, and provides internal amenity and outlook.</p>	<p>The design responds to the surrounding context, providing a development that maintains an established height around Blacktown CBD area, and which is compliant with the floor space requirements established by the Blacktown Local Environmental Plan 2015. The mixed use development responds to the site's location within the CBD. The 2 storey podium is consistent with Council's controls and creates suitable streetscape.</p>

Principle 3: Density	
Control	Town Planning Comment
<p>Good design achieves a high level of amenity for residents and each apartment, resulting in a density appropriate to the site and its context.</p> <p>Appropriate densities are consistent with the area's existing or projected population. Appropriate densities can be sustained by existing or proposed infrastructure, public transport, access to jobs, community facilities and the environment.</p>	<p>The development complies with the maximum FSR established for the site under BLEP 2015. The scale of the development being 18 storeys is consistent with the height limit for the area and is also consistent with the desired density of the area. In addition, the site is located 320 m from Blacktown train station and is located within the Blacktown CBD. It is therefore considered a suitable density that can be sustained with existing infrastructure.</p>
Principle 4: Sustainability	
Control	Town Planning Comment
<p>Good design combines positive environmental, social and economic outcomes.</p> <p>Good sustainable design includes use of natural cross ventilation and sunlight for the amenity and liveability of residents and passive thermal design for ventilation, heating and cooling reducing reliance on technology and operation costs. Other elements include recycling and reuse of materials and waste, use of sustainable materials and deep soil zones for groundwater recharge and vegetation.</p>	<p>The design of the development ensures that the development exceeds the minimum design criteria for solar access and natural cross ventilation.</p> <p>The proposal provides for a mix of dwellings, contributing to the housing diversity within the locality.</p> <p>The proposal is supported by a BASIX Certificate. The commitments are incorporated into the design of the building. The proposal demonstrates satisfactory levels of sustainability, waste management and efficient use of energy and water resources.</p>
Principle 5: Landscape	
Control	Town Planning Comment
<p>Good design recognises that together landscape and buildings operate as an integrated and sustainable system, resulting in attractive developments with good amenity. A positive image and contextual fit of well-designed developments is achieved by contributing to the landscape character of the streetscape and neighbourhood.</p> <p>Good landscape design enhances the development's environmental performance by retaining positive natural features which contribute to the local context, co-ordinating water and soil management, solar access, micro-climate, tree canopy, habitat values and preserving green networks.</p>	<p>A landscape plan has been submitted with the proposal, which incorporates a variety of planting that contributes to the amenity of the development. Whilst deep soil zones have not been provided throughout the development given the CBD context of the site, planters have been provided to ensure sufficient planting can be achieved.</p> <p>The landscape design provides for suitable screening to adjoining properties, creates usable spaces for future residents and improves the overall quality of the development.</p>



Principle 5: Landscape	
Good landscape design optimises useability, privacy and opportunities for social interaction, equitable access, respect for neighbours' amenity and provides for practical establishment and long term management.	
Principle 6: Amenity	
Control	Town Planning Comment
<p>Good design positively influences internal and external amenity for residents and neighbours. Achieving good amenity contributes to positive living environments and resident well-being.</p> <p>Good amenity combines appropriate room dimensions and shapes, access to sunlight, natural ventilation, outlook, visual and acoustic privacy, storage, indoor and outdoor space, efficient layouts and service areas and ease of access for all age groups and degrees of mobility.</p>	<p>The design of the proposal is considered to provide a high level of amenity through a carefully considered spatial arrangement and layout.</p> <p>The proposal achieves a suitable level of internal amenity through providing appropriate room dimensions and shapes, access to sunlight, natural ventilation, visual and acoustic privacy, storage, indoor and outdoor space, outlook, efficient layouts and service areas.</p>
Principle 7: Safety	
Control	Town Planning Comment
<p>Good design optimises safety and security within the development and the public domain. It provides for quality public and private spaces that are clearly defined and fit for the intended purpose. Opportunities to maximise passive surveillance of public and communal areas promote safety.</p> <p>A positive relationship between public and private spaces is achieved through clearly defined secure access points and well lit and visible areas that are easily maintained and appropriate to the location and purpose.</p>	<p>The proposal is considered to be satisfactory in terms of future residential occupants overlooking communal spaces while maintaining internal privacy. Public and private spaces are clearly defined and suitable safety measures are integrated into the development.</p> <p>The proposal provides suitable casual surveillance of the public domain.</p>
Principle 8: Housing Diversity and Social Interaction	
Control	Town Planning Comment
<p>Good design achieves a mix of apartment sizes, providing housing choice for different demographics, living needs and household budgets.</p> <p>Well-designed apartment developments respond to social context by providing housing and facilities to suit the existing and future social mix.</p>	<p>The proposal consists of a mix of dwellings which are responsive to anticipated market and demographic demands.</p> <p>The proposal provides additional housing choice which is in close proximity to public transport and is located within the Blacktown CBD.</p>

Principle 8: Housing Diversity and Social Interaction	
Control	Town Planning Comment
Good design involves practical and flexible features, including different types of communal spaces for a broad range of people and providing opportunities for social interaction among residents.	
Principle 9: Aesthetics	
Control	Town Planning Comment
<p>Good design achieves a built form that has good proportions and a balanced composition of elements, reflecting the internal layout and structure. Good design uses a variety of materials, colours and textures.</p> <p>The visual appearance of a well-designed apartment development responds to the existing or future local context, particularly desirable elements and repetitions of the streetscape.</p>	<p>The proposed development is considered to be appropriate in terms of the composition of building elements, textures, materials, finishes and colours and reflect the use, internal design and structure of the resultant buildings.</p> <p>This distinct and contemporary design assists in setting a high quality standard for the transitioning character of this locality and creates a desirable streetscape.</p>



ADG Requirement	Proposal	Compliance
<b>Siting the Development</b>		
<b>3A Site Analysis</b> Satisfy the site analysis guidelines.	Site Analysis has been submitted and is satisfactory.	Yes
<b>3B Orientation</b> Where an adjoining property does not currently receive 2 hours of sunlight in midwinter, solar access should not be further reduced by more than 20%. 4 hours of solar access should be retained to solar collectors on neighbouring buildings.	The proposal will maintain a minimum 2 hours of solar access to the adjoining properties. N/A Adjoining properties do not contain solar collectors	Yes N/A
<b>3C Public Domain Interface</b> Ground level courtyards to have direct access, if appropriate. Ground level courtyards to be above street level for visual privacy. Balconies and windows to overlook the public domain. Front fences to be visually permeable with max 1m height, and limited length. Entries to be legible. Raised terraces to be softened by landscaping. Mail boxes to be located in lobbies, perpendicular to the street or within the front fence. Basement carpark vents not to be visually prominent. Substations, pump rooms, garbage storage rooms and other service rooms should be located in the basement carparks or out of view. Ramping for accessibility to be minimised. Durable, graffiti resistant and easily cleanable materials should be used. On sloping sites, protrusion of car parking should be minimised.	N/A No ground level units. N/A No ground level units. Balconies and windows provide casual surveillance of the public domain. N/A No front fences proposed. Residential entry is appropriately located. Raised areas are suitably landscaped. Mailboxes are perpendicular to the street frontage. Satisfactory. Substation integrated into design. Service rooms adequately located. Ramping is suitable. Suitable and durable materials are proposed. Car parking is suitable designed to be within building footprint.	Yes

ADG Requirement	Proposal	Compliance
<b>3D Communal and Public Open Space</b>  COS >25% of the site. Direct sunlight to >50% of COS for 2 hours between 9 am and 3 pm. Minimum dimension of 3m. Direct and equitable access. If COS cannot be located on Ground Level, provide on the podium or roof.  If it COS can't be achieved, provide on rooftop of a common room, provide larger balconies, or demonstrate proximity to public open space and facilities. Range of activities (e.g. seating, BBQ, play area, gym or common room). Visual impacts minimised from ventilation, substations and detention tanks. Maximise safety. Public Open Space, where provided, is to be well connected and adjacent to street.	Site area: 2,380 sqm Required: 595 sqm Provided: 957 sqm (40%) Minimum dimension of 3 m.  Common open space areas are proposed on the podium and also on the rooftop area. Direct and accessible access is achieved.  COS embellished with seating, terraces and covered outdoor areas.  The COS is clear of services.  The COS demonstrates a safe design. N/A	Yes
<b>3E Deep Soil Zones</b>  Minimum area = 7% of site area. Preferred area = 15%. If the site is between 650 to 1,500 sqm then minimum dimensions of 3 m. If over 1,500 sqm then min dimensions of 6 m.	Deep soil zone is not provided with the proposal. However, the subject site is located in the constrained CBD area and other similar constrained sites for shop top housing developments in the CBD area such as DA-15-467, JRPP-15-2533 and JRPP-15-1263 have been approved without on-site deep soil provision.  Notwithstanding this, the proposed development will include the provision of new street trees along Third Avenue and a monetary contribution via CP 19 to the future Blacktown Northern Precinct Park in close proximity to this site. The proposed development is considered satisfactory given the circumstances.	No but acceptable



ADG Requirement	Proposal	Compliance												
<b>2F Building Separation</b> Separation distances from buildings to the side and rear boundaries are as follows: <table border="1"> <thead> <tr> <th>Building height</th><th>Habitable rooms and balconies</th><th>Non-habitable rooms</th></tr> </thead> <tbody> <tr> <td>Up to 12 m (4 storeys)</td><td>6 m</td><td>3 m</td></tr> <tr> <td>Up to 25 m (5 - 8 storeys)</td><td>9 m</td><td>4.5 m</td></tr> <tr> <td>Over 25 m (9+ storeys)</td><td>12 m</td><td>6 m</td></tr> </tbody> </table> Increased separation distance of 3 m when adjacent to a different zone that permits lower density Direct lines of sight should be avoided for windows and balconies across corners No separation is required between blank walls	Building height	Habitable rooms and balconies	Non-habitable rooms	Up to 12 m (4 storeys)	6 m	3 m	Up to 25 m (5 - 8 storeys)	9 m	4.5 m	Over 25 m (9+ storeys)	12 m	6 m	N/A  N/A  Development is 18 storeys in height and provides for a minimum 6 m building separation setback to property boundaries. This is consistent with similar development within the Blacktown CBD. N/A - Adjoining development of a similar scale has not occurred.  N/A	No but acceptable – refer to the Summary Report.
Building height	Habitable rooms and balconies	Non-habitable rooms												
Up to 12 m (4 storeys)	6 m	3 m												
Up to 25 m (5 - 8 storeys)	9 m	4.5 m												
Over 25 m (9+ storeys)	12 m	6 m												
<b>3G Pedestrian Access and Entries</b> Connect to and activate the public domain. Easy to identify access. Internal pedestrian links to be direct.	Pedestrian access is direct to the street frontage and easily identifiable.	Yes												
<b>3H Vehicle Access</b> Access points are safe and create quality streetscapes.	Car parking and driveway location is suitable.	Yes												
<b>3J Bicycle and Car Parking</b> Sites within 800 m of a railway station comply with Guide to Traffic Generating Developments.  <b>&gt;20 units</b> Metropolitan Regional Centres (CBD): 0.4 spaces per 1 bedroom unit. 0.7 spaces per 2 bedroom unit. 1.2 spaces per 3 bedroom unit. 1 space per 7 units (visitor parking)	The site is within 320 m of Blacktown Railway Station. The proposal is for: 143 units (15 x 1 bed, 112 x 2 bed and 16 x 3 bed).  6 78.4 19.2 20.4 Total required 124 spaces													

ADG Requirement	Proposal	Compliance
At least 1 loading dock.	Provided 158 spaces (143 residential and 15 visitors)	Yes
Conveniently located and sufficient numbers of bicycle and motorbike spaces.	1 loading dock is provided. 1 carwash/service space provided 20 motorcycle and 75 bicycle parking spaces provided.	Yes
<b>Designing the Building</b>		
<b>4A Solar and Daylight Access</b> Living rooms and POS receive minimum 2 hours direct sunlight between 9 am – 3 pm in mid-winter > 70% of units.  Maximum number with no sunlight access < 15%.  Suitable design features for operable shading to allow adjustment and choice.	111/143 units (77 %)  Less than 15% of apartments have no sunlight.  Louvres are provided which allow for management of solar access.	Yes
<b>4B Naturally Ventilation</b> All habitable rooms naturally ventilated. Number of naturally cross ventilated units > 60%. Depth of cross over apartments < 18 m. The area of unobstructed window openings should be equal to at least 5% of the floor area served.	All habitable rooms are ventilated. Up to 9 storeys – 50/71 units (70% of units are cross ventilated) Balconies are not capable of being fully enclosed.	Yes
<b>4C Ceiling Heights</b> 2.7 m for habitable 2.4 m for non-habitable	2.7 m provided for habitable rooms. Mixed use area – ground and first floor provided with 3.6 m and 4.4 m	Yes
Service bulkheads are not to intrude into habitable spaces.	The window areas are satisfactory.	
<b>4D Apartment Size and Layout</b> Studio > 35 sqm 1 bed > 50 sqm 2 bed > 70 sqm 3 bed > 90 sqm + 5 sqm for each unit with more than 1 bathroom.  Habitable Room Depths: limited to 2.5 m x Ceiling Height (6.75 m with 2.7 m ceiling heights)  Open plan layouts that include a living, dining room and kitchen – maximum 8 m to a window.	- 55 sqm 76 - 83 sqm 98 sqm Where second bathrooms are provided unit size exceed the minimum size by 5 sqm.  Satisfactory room depths.  Open plan layouts are provided. Kitchens are less than 8 m to a window.	Yes



ADG Requirement	Proposal	Compliance
Bedroom sizes (excluding wardrobe space): Master – 10 sqm Other – 9 sqm Minimum dimensions – 3 m	Master bedrooms meet the minimum bedroom sizes excluding wardrobe space.	Yes
Living rooms/dining areas have a minimum width of: 3.6 m - Studio/1 bedroom 4 m - 2 bedroom/3 bedroom Cross-over/cross-through: 4 m wide	Minimum living/dining room areas are achieved.  N/A	Yes
<b>4E Private Open Space and Balconies</b> Studio > 4 sqm 1 bed > 8 sqm and 2 m depth 2 bed > 10 sqm and 2 m depth 3 bed > 12 sqm and 2.4 m depth Ground level/ podium apartments > 15 sqm and 3 m depth Extension of the living space. A/C units should be located on roofs, in basements, or fully integrated into the building design.	- 20 sqm 12 – 25 sqm 23 sqm Min 15 sqm and 3 m – Complies  POS is an extension of the living space A/C units will be located on balconies	Yes
<b>4F Common Circulation and Spaces</b> Maximum number of apartments off a circulation core on a single level - 8 - 12. Buildings over 10 storeys - maximum of 40 units sharing a single lift. Daylight and natural ventilation to all common circulation areas above ground level. Corridors greater than 12m from the lift core to be articulated by more foyers, or wider areas / higher ceiling heights at apartment entry doors. Maximise dual aspect apartments and cross over apartments. Primary living room and bedroom windows are not to open directly onto common circulation spaces. Direct and legible access. Tight corners and spaces to be avoided. Well lit at night. For larger development – community rooms for owners meetings of resident use should be provided.	Yes - 9 units per level  No - however for this scale of development, the common circulation areas provide an efficient layout which does not compromise amenity.  Corridors lengths exceed 12m, however, windows and seating areas provided.  Dual aspect apartments are provided.  Windows do not open onto COS areas.  Achieved. Achieved. Achieved. N/A	Yes

ADG Requirement	Proposal	Compliance
<b>4G Storage</b> Studio > 4 m <sup>3</sup> 1 bed > 6 m <sup>3</sup> 2 bed > 8 m <sup>3</sup> 3 bed > 10 m <sup>3</sup> Min 50% within the apartment.	Minimum storage areas provided, with a minimum 50% provided in apartment. Storage spaces also provided within basement.	Yes
<b>4H Acoustic Privacy</b> Window and door openings orientated away from noise sources. Noise sources from garage doors, driveways, services, COS and circulation areas to be 3 m from bedrooms. Separate noisy and quiet spaces. Provide double/acoustic glazing, acoustic seals and materials with low noise penetration.	Achieved. Achieved. Achieved. Suitable acoustic measures to be installed.	Yes
<b>4J Noise and Pollution</b> In noisy or hostile environments, the impacts of external noise and pollution are to be minimised through the careful siting and layout of buildings. To mitigate noise transmission: Limit the number and size of openings facing the noise sources. Use double or acoustic glazing, acoustic louvres or enclosed balconies (winter gardens). Use materials with mass and/or sound insulation (e.g. solid balcony balustrades, external screens or soffits).	The layout of the development considers potential noise and pollution impacts, and is satisfactory.	Yes
<b>Configuration</b>		
<b>4K Apartment Mix</b> Provide a variety of apartment types. Flexible apartment mix.	143 units (15 x 1 bed, 112 x 2 bed and 16 x 3 bed). A suitable and responsive apartment mix is provided.	Yes
<b>4L Ground Floor Apartments</b> Maximise street frontage activity. Direct street access to ground floor apartments. Ground floor apartments to deliver amenity and safety for residents.	N/A No ground floor apartments proposed.	N/A



ADG Requirement	Proposal	Compliance
<b>4M Facades</b> Front building facades are to provide visual interest whilst respecting the character of the local area. Building services are to be integrated into the overall façade. Provide design solutions which consider scale and proportion to the streetscape and human scale.	The front façade is architecturally treated to create visual interest and contributes to the desired future character of this area. Plant and equipment catered for on ground floor.	Yes
<b>4N Roof Design</b> Roof treatments are to integrated into the building design and positively respond to the street.	The roof is designed to be recessive and not visible from the public domain.	Yes
<b>4O Landscape Design</b> <b>Site Area</b> < 850 sqm - 1 medium tree per 50 sqm of deep soil zone. 850 sqm to 1,500 sqm - 1 large tree or 2 medium trees per 90 sqm of DSZ. >1,500 sqm - 1 large tree or 2 medium trees per 80 sqm of DSZ.	The site area is 2,380 sqm. No deep soil zones provided.	Acceptable as discussed under Section 3E of this table (page 8). The site is within the CBD context.
<b>4P Planting on Structures</b> Refer to Table 5 for minimum soil standards. Provide suitable plant selection. Provide suitable irrigation and drainage systems and maintenance. Enhance the quality and amenity of COS with green walls, green roof and planter boxes, etc.	Planting is provided within the setbacks, some of which is above the basement structures. The proposal comprises suitable plant selection which is considered to enhance the quality and amenity of the COS.	Yes
<b>4Q Universal Design</b> 10% adaptable housing. Flexible design solutions to accommodate the changing needs of occupants.	15 adaptable units are provided (10%). The layout of the units comprises flexible design solutions.	Yes
<b>4R Adaptive Reuse</b> New additions to existing buildings are contemporary and complementary and enhance an area's identity and sense of place.	N/A	N/A

ADG Requirement	Proposal	Compliance
<b>4S Mixed Use</b> Provide active street frontages and encourage pedestrian movement. Residential entries separate and clearly defined. Landscaped COS to be at podium or roof level.	Active street frontages provided by ground floor commercial. Residential entry separate from commercial entries. Landscaping provided on podium and roof.	Yes
<b>4T Awnings and Signage</b> Awnings to be continuous and complement the existing street character. Provide protection from sun and rain, wrapped around the secondary frontage. Gutters and down pipes to be integrated and concealed. Lighting under awnings is to be provided. Signage is to be integrated and in scale with the building. Legible and discrete way finding is to be provided.	Condition of consent to be imposed in accordance with Council's Civil and Open Space requirements.	Yes
<b>Performance</b>		
<b>4U Energy Efficiency</b> The development is to incorporate passive solar design. Heating and cooling infrastructure are to be centrally located (e.g. basement).	The development allows for the optimisation / management of heat storage in winter and heat transfer is summer. No details of services, however plant rooms provided within basement and on roof.	Yes
<b>4V Water Management and Conservation</b> Rainwater collection and reuse. Drought tolerant plants. WSUD measures. Detention tanks should be located under paved areas, driveways or in basement carparks.	None proposed. Suitable plants are proposed. WSUD measures are proposed. Detention tanks located within the western side setbacks, and are suitably placed given the existing site conditions and levels. These are clear of the COS areas. Satisfactory.	Yes However, no rainwater re-use.
<b>4W Waste Management</b> Waste storage should be discreetly located away from the front of the development or in the basement. Waste cupboard within each dwelling. Waste and recycling rooms are to be in convenient and accessible locations related to each vertical core.	Waste storage located within basement. Each dwelling has sufficient storage. Waste chutes are centrally located on each floor.	Yes



ADG Requirement	Proposal	Compliance
<b>4X Building Maintenance</b> The design is to provide protection from weathering. Enable ease of maintenance. The materials are to reduce ongoing maintenance costs.	The proposal demonstrates ease of maintenance.	Yes

## 6 State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

A BASIX certificate has been lodged as part of the DA, as well as a NatHERS (Nationwide House Energy Rating Scheme) assessor certificate. The BASIX certificate indicates that the development has been designed to achieve the required water, thermal comfort and energy scores. A suitable condition will be imposed requiring compliance with the submitted BASIX certificate.

## 7 Sydney Regional Environmental Plan No. 20 - Hawkesbury-Nepean River

Details of sediment and erosion control measures were submitted with the DA. Appropriate conditions will be recommended for their implementation. Subject to compliance with the recommended conditions, the proposed development will not have an adverse impact upon the Hawkesbury Nepean River system.

## 8 Blacktown Local Environmental Plan 2015

The Blacktown Local Environmental Plan 2015 (BLEP 2015) applies to the site. The table below provides a summary assessment of the development standards established within BLEP 2015 and the proposal's compliance with these standards. The development complies with the development standards contained within BLEP 2015.

Development Standard	Proposal	Compliance
<b>Zoning</b> B4 Mixed Use	Mixed use – ground floor retail, first floor child care centre and 16 storey residential above	Yes
<b>Maximum Height of Buildings</b> 56 m	62.5 m	No – see Clause 4.6 justification at attachments 7 and 8.
<b>Maximum Floor Space Ratio</b> 6.5:1	6.1:1	Yes
<b>4.6 - Exception to development standards</b>	Written statement submitted (attachment 7) and considered in the summary report and attachment 8.	Considered acceptable on its merits.

Development Standard	Proposal	Compliance
<b>7.4 - Active street frontages</b> <p>This clause applies to land identified as 'Active street frontage' on the <a href="#">Active Street Frontages Map</a>.</p> <p>Development consent must not be granted to the erection of a building, or a change of use of a building, on land to which this clause applies unless the consent authority is satisfied that the building will have an active street frontage after its erection or change of use.</p>	Site is not identified as requiring an 'Active street frontage'.	N/A
<b>7.5 - Essential Services</b> <p>Consent Authority is to be satisfied that essential services are available or adequate arrangements have been made.</p>	The site is within the existing CBD, therefore services available. Relevant servicing conditions will be imposed.	Yes
<b>7.7 - Design Excellence</b> <p>Development consent must not be granted to development involving the erection of a new building or external alterations to an existing building on any land unless the consent authority is satisfied that the development exhibited design excellence.</p>	The building has been architecturally designed and generally consistent with the Apartment Design Guide (ADG).	Yes
<b>7.12 - Development in Zone B4</b> <p>Development consent must not be granted to the erection of a building, or to the change of use of a building on land in zone B4 Mixed Use unless the consent authority is satisfied that the ground floor and first floor of the building will be used for a purpose other than residential accommodation.</p>	Retail proposed on ground floor and child care centre on the first floor of podium.	Yes

Some specific clauses are detailed below.

**a. Clause 2.3 Zone objectives and land use table**

The consent authority must have regard to the objectives for development in a zone when determining a Development Application in respect of land within the zone.

The subject site is zoned B4 Mixed Use under BLEP 2015. Retail premises, business premises, child care centres and shop top housing are permissible within the zone with consent.



### **b. Clause 4.6 Exceptions to development standards**

Consent must not be granted for development that contravenes a development standard unless the consent authority is satisfied that the applicant has made a written request that has adequately addressed the matters required to demonstrate that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and that there are sufficient environmental planning grounds to justify contravening the development standard. The consent authority must also be satisfied that the proposed development will be in the public interest because it is consistent with the objectives of the particular zone.

The applicant is seeking an exemption under Clause 4.6 to the maximum height development control. A copy of the applicant's Clause 4.6 variation request is provided at attachment 7, while an assessment against the development standards is discussed in detail in Section 7 of the summary report.

## **9 Draft Central City District Plan**

Whilst the Environmental Planning and Assessment Act 1979 does not require consideration of District Plans in the assessment of Development Applications, an assessment of the Draft Central City District Plan has been undertaken. Outlined below is where the development application is consistent with the overarching priorities outlined in the Draft District Plan:

### **Productivity**

- Driving the growth of the Central City
- Delivering job targets in strategic and district centres
- Growing Central City District's economy with smart jobs
- Improving access to a greater number of jobs and centres within 30 minutes.

### **Liveability**

- Improving housing choice
- Improving housing diversity and affordability
- Creating great places.

## **10 Blacktown Development Control Plan 2015**

Blacktown DCP 2015 applies to the site. The table below outlines the proposal's compliance with the controls established in the DCP.

Development Standard	Proposal	Compliant
<b>Minimum Site Width</b> 30 m	54 m	Yes
<b>Maximum Height</b> 56 m	62.5 m	No but acceptable. Refer to Attachment 8 for our assessment.

Development Standard	Proposal	Compliant
<b>Building Quality</b> Design of buildings is to have regard to SEPP 65. New development should provide visual interest through architectural design elements, including material selection, finishes and colour should complement and enhance existing streetscapes.	The development complies with the design quality principles established by SEPP 65.	Yes
<b>Minimum Setbacks:</b> <b>Front</b> Zero setback to the front boundary for ground floor (GF) and the 1 - 2 levels above (i.e. podium). Levels above the podium should be setback in order to create a comfortable street scale, reduce building bulk and provide greater solar access. Courtyards and balconies may encroach into the setback area to provide articulation. <b>Rear and Side</b> Zero setback to side and rear boundaries permitted for ground floor and the 1 - 2 levels above. Minimum 6 m side and rear setback, balcony encroachment permissible.	2 level podium with 4.9 m – 7.1 m front setback for the tower on top of the podium  6 m – 10.5 m side and rear setbacks	No – but acceptable as discussed in the summary report.
<b>Minimum Common Open Space Provision</b> A minimum rate of 42% of the sum of the following: 40 sqm 1 bedroom unit 50 sqm 2 bedroom unit 70 sqm 3 bedroom unit No more than 30% of the above-ground open space (balconies or terrace areas) may be included in total.	15 x 1 bed – 600 sqm 112 x 2 bed – 5,600 sqm 16 x 3 bed – 1,120 sqm Requires – 3,074 sqm (42% of 7,320 sqm) 957 sqm proposed on roof terrace and above podium. (31% of required).	No – however, compliant with ADG which overrides BDCP 2015.
<b>Private Open Space</b> Each unit is to be provided with a private balcony/courtyard or terrace area with minimum dimensions of 3 m x 2.5 m.	All private balconies/courtyards meet the minimum dimensions requirements, and are a minimum 10 sqm.	Yes
<b>Natural Cross Ventilation and Solar Access</b> Development will be required to comply with the provisions of SEPP 65 and the Residential Flat Design Code concerning cross ventilation and solar access.	77% of units meet the solar access requirements. 70% of units are naturally ventilated.	Yes



Development Standard	Proposal	Compliant
<b>Lifts</b> All development will be required to be service by stretcher-sized lifts.	All lifts achieve minimum dimensions.	Yes
<b>Parking Provision</b> 1 vehicle space/dwelling 1 additional space per 3 bedroom dwelling 1 visitor space/2.5 dwellings 1 vehicle space/40 sqm GFA for commercial component	RMS requirements for residential given distance from train station. <u>Commercial requirements based on 609 sqm of retail.</u> Requirement: 15.3 spaces Provided: 16 spaces <u>Child care centre</u> Requirement: 1 per 6 children = 25.8 spaces 1 per staff member = 25 spaces Provided: 50 spaces	Yes
<b>Waste Management</b> Commercial tenants must be a dedicate area/room for the storage of waste. Residential component requires a minimum 110 L per unit (collected weekly) for garbage and 90 L per unit (collected fortnightly) for recycling.	On-site waste collection proposed through private contractor.	Yes
<b>Child care centre controls (Note: DCP does not contain specific controls for child care centres in a business zone, however, compliance with play areas and car parking requirements in accordance with the DCP and Child Services Regulation have been identified below)</b>		
Development standard	Proposal	Compliant
Required floor space - Minimum unencumbered indoor play space/licensed child (irrespective of age) 3.25 sqm	Required: 503 sqm Provided: 517 sqm	Yes
Required play space - Minimum unencumbered outdoor play space / licensed child (irrespective of age) 7 sqm	Required: 1,085 sqm Provided: 1,188 sqm	Yes
<b>Car parking</b> 1 space per employee 1 space per 6 children for visitors and parents	<b>Child care centre</b> Requirement: 1 per 6 children = 25.8 spaces 1 per staff member = 25 spaces Provided: 50 spaces	Yes



## *Clause 4.6 Request for Variation to a Development Standard*

---

### Proposal to vary Height of Buildings Development Standard Under Clause 4.3 of Blacktown Local Environmental Plan 2015

10-14 Third Avenue Blacktown

19 May, 2017

#### Copyright

The concepts and information contained within this document is the property of HDC Planning. Use or copying of this document in whole or in part without the written permission of HDC Planning constitutes an infringement of copyright.

#### PLANNING

#### APPROVALS

#### DEVELOPMENT ADVICE

[www.hdcplanning.com.au](http://www.hdcplanning.com.au)

David Haskew (B.T.P Hons 1)

P. 0414407022

E: [david@haskew.com.au](mailto:david@haskew.com.au)

P.O. Box 810

Katoomba 2780

A: Soper Chambers – Suite 10 / 118-120

Katoomba Street, Katoomba

Gilbert de Chalain MPIA

P. +61 292383963

M. 0417253416

E: [gilbert@hubplanning.com.au](mailto:gilbert@hubplanning.com.au)

G.P.O. Box 5396, Sydney 2001

A: Level 12, 32 Martin Place, Sydney



# Table of Contents

<b>1</b>	<b>INTRODUCTION .....</b>	<b>4</b>
<b>2</b>	<b>PROPOSED DEVELOPMENT .....</b>	<b>5</b>
<b>3</b>	<b>CLAUSE 4.6 REQUEST FOR VARIATION .....</b>	<b>5</b>
3.1	WHAT IS THE DEVELOPMENT STANDARD BEING VARIED? .....	6
3.2	UNDER WHAT CLAUSE IS THE DEVELOPMENT STANDARD LISTED IN THE ENVIRONMENTAL PLANNING INSTRUMENT? .....	7
3.3	WHAT IS THE ZONING OF THE LAND? .....	7
3.4	WHAT ARE THE OBJECTIVES OF THE ZONE? .....	7
3.5	WHAT ARE THE OBJECTIVES OF THE DEVELOPMENT STANDARD? .....	7
3.6	WHAT IS THE NUMERIC VALUE OF THE DEVELOPMENT STANDARD IN THE ENVIRONMENTAL PLANNING INSTRUMENT? .....	8
3.7	WHAT IS THE NUMERIC VALUE OF THE DEVELOPMENT STANDARD IN THE DEVELOPMENT APPLICATION? .....	8
3.8	WHAT IS THE PERCENTAGE VARIATION BETWEEN THE PROPOSAL AND THE ENVIRONMENTAL PLANNING INSTRUMENT? .....	9
3.9	WHAT ARE THE WAYS IN WHICH STRICT COMPLIANCE OF THE STANDARD CAN BE DEMONSTRATED TO BE UNREASONABLE OR UNNECESSARY IN THE CIRCUMSTANCES OF THE CASE? .....	9
3.9.1	ASSESSMENT METHODOLOGY BY WHICH THE TEST OF UNREASONABLE AND UNNECESSARY AND THE ANALYSIS OF WHETHER THERE ARE SUFFICIENT ENVIRONMENTAL PLANNING GROUNDS TO SUPPORT THE VARIATION HAS BEEN UNDERTAKEN .....	10
3.10	HOW IS STRICT COMPLIANCE WITH THE STANDARD UNREASONABLE OR UNNECESSARY IN THE CIRCUMSTANCES OF THE CASE? .....	12
3.11	WHAT ARE THE ENVIRONMENTAL PLANNING GROUNDS TO JUSTIFY CONTRAVENING THE DEVELOPMENT STANDARD? .....	22
3.12	DOES CONTRAVENTION OF THE DEVELOPMENT STANDARD RAISE ANY MATTER OF SIGNIFICANCE FOR STATE OR REGIONAL ENVIRONMENTAL PLANNING? .....	23
3.13	WHAT IS THE PUBLIC BENEFIT OF MAINTAINING THE STANDARD? .....	23
3.14	HOW WOULD A DEVELOPMENT WHICH COMPLIED WITH THE STANDARD, BE UNREASONABLE OR UNNECESSARY IN THE CIRCUMSTANCES OF THE CASE? .....	24

*Figures*

Figure 1: Building Height Analysis ..... 8

Table 1: Summary of Height Variation ..... 9

Figure 2: Midday Shadow Cast of Lift Over Run ..... 21



# 1 INTRODUCTION

---

This report has been prepared as the Applicants Written Request for Variation to a Development Standard and is made in accordance with the provisions of clause 4.6 of Blacktown Local Environmental Plan 2015 (BLEP 2015).

The Request for Variation relates to clause 4.3 of BLEP 2015, which sets a maximum building height development standard.

The Request for Variation relates to a proposed 18 storey shop top housing development at 10-14 Third Avenue Blacktown. The application (DA JRPP-16-03334) was accompanied by a Statement of Environmental Effects which includes a Request for Variation to the height of buildings development standard. At Council's request, additional RLs have been provided to the plans. This has allowed a more precise calculation of building height. The purpose of this report therefore is to supersede the previous clause 4.6 variation and to address the proposed non-compliance as is now informed by the amended plans.

In addition to the Haskew Planning Statement of Environmental Effects, this report should be read in conjunction with architectural plans prepared by Algorry Zappia and Associates identified as Issue B. It is noted that these plans have been amended since the version originally submitted with the Development Application.

## 2 PROPOSED DEVELOPMENT

---

The subject application proposes an 18 storey shop top housing development. A detailed description of the same is provided at Section 3 (pages 17 to 25 of the Statement of Environmental Effects prepared by Haskew Planning and accompanying the Development Application as lodged.

## 3 CLAUSE 4.6 REQUEST FOR VARIATION

---

Clause 4.6 of LLEP 2008 allows for variation to development standards and principally (but with some important differences) replicates the operation of State Environmental Planning Policy No. 1 – Development Standards. The following sets out the Applicant’s Written Request for Variation to the provisions of Clause 4.3 of BLEP 2015 which requires a maximum height of buildings of 56m.

In preparing this Request for Variation, regard has been had to seminal Court decisions in relation to SEPP 1 generally and in relation to clause 4.6 specifically.

The Request for Variation has been set out in accordance with the structure recommended by the Department of Planning in its SEPP 1 Guide – Varying Development Standards.

Components of Clause 4.6 relevant to the preparation of a Written Request for Variation are:

### *4.6 Exceptions to development standards*

*(1) The objectives of this clause are as follows:*

*(a) to provide an appropriate degree of flexibility in applying certain development standards to particular development,*

*(b) to achieve better outcomes for and from development by allowing flexibility in particular circumstances.*

*(2) Development consent may, subject to this clause, be granted for development even though the development would contravene a development standard imposed by this or any other environmental planning instrument. However, this clause does not apply to a development standard that is expressly excluded from the operation of this clause.*



(3) Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating:

- (a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and
- (b) that there are sufficient environmental planning grounds to justify contravening the development standard.

(4) Development consent must not be granted for development that contravenes a development standard unless:

- (a) the consent authority is satisfied that:
  - (i) the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and
  - (ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and
- (b) the concurrence of the Secretary has been obtained.

(5) In deciding whether to grant concurrence, the Secretary must consider:

- (a) whether contravention of the development standard raises any matter of significance for State or regional environmental planning, and
- (b) the public benefit of maintaining the development standard, and
- (c) any other matters required to be taken into consideration by the Secretary before granting concurrence.

(6) ...

(7) ...

(8) ...

### 3.1 What is the Development Standard Being Varied?

The subject Request for Variation relates to the height of buildings development standard.

### 3.2 Under what clause is the development standard listed in the environmental planning instrument?

The development standard is contained within clause 4.3 (2)(b) of BLEP 2015.

### 3.3 What is the Zoning of the Land?

The subject site is zoned B4 Mixed Use.

### 3.4 What Are the Objectives of the Zone?

The objectives of the zone are set out at Part 2 of the LEP as:

- *To provide a mixture of compatible land uses.*
- *To integrate suitable business, office, residential, retail and other development in accessible locations so as to maximise public transport patronage and encourage walking and cycling.*

### 3.5 What Are the Objectives of the Development Standard?

The objectives of clause 4.3 are provided at subclause (1) as:

- (a) to minimise the visual impact, loss of privacy and loss of solar access to surrounding development and the adjoining public domain from buildings,*
- (b) to ensure that buildings are compatible with the height, bulk and scale of the surrounding residential localities and commercial centres within the City of Blacktown,*
- (c) to define focal points for denser development in locations that are well serviced by public transport, retail and commercial activities,*
- (d) to ensure that sufficient space is available for development for retail, commercial and residential uses,*
- (e) to establish an appropriate interface between centres, adjoining lower density residential zones and public spaces.*

### 3.6 What is the Numeric Value of the Development Standard in the Environmental Planning Instrument?

Clause 4.3 together with the height of buildings map prescribe a maximum building height of 56m.

### 3.7 What is the Numeric Value of the Development Standard in the Development Application?

The proposed development exceeds the 56m height limit at four distinct parts of the topmost elements of the building. These are: the main roof line; the parapet wall of the roof top open space; the open space pergola and roof over the covered seating area; the roofs over the open space stair access and plant rooms; and lastly; the lift over run. Due to the natural slope of the land, the extent of non-compliance varies for each element. The following Figure 1 provides an overlay of the outline of the roof plan onto the survey plan. RLs for each building element have been labelled based on those which are shown on the section and elevation drawings. The vertical differential (building height) is then annotated on the building element.

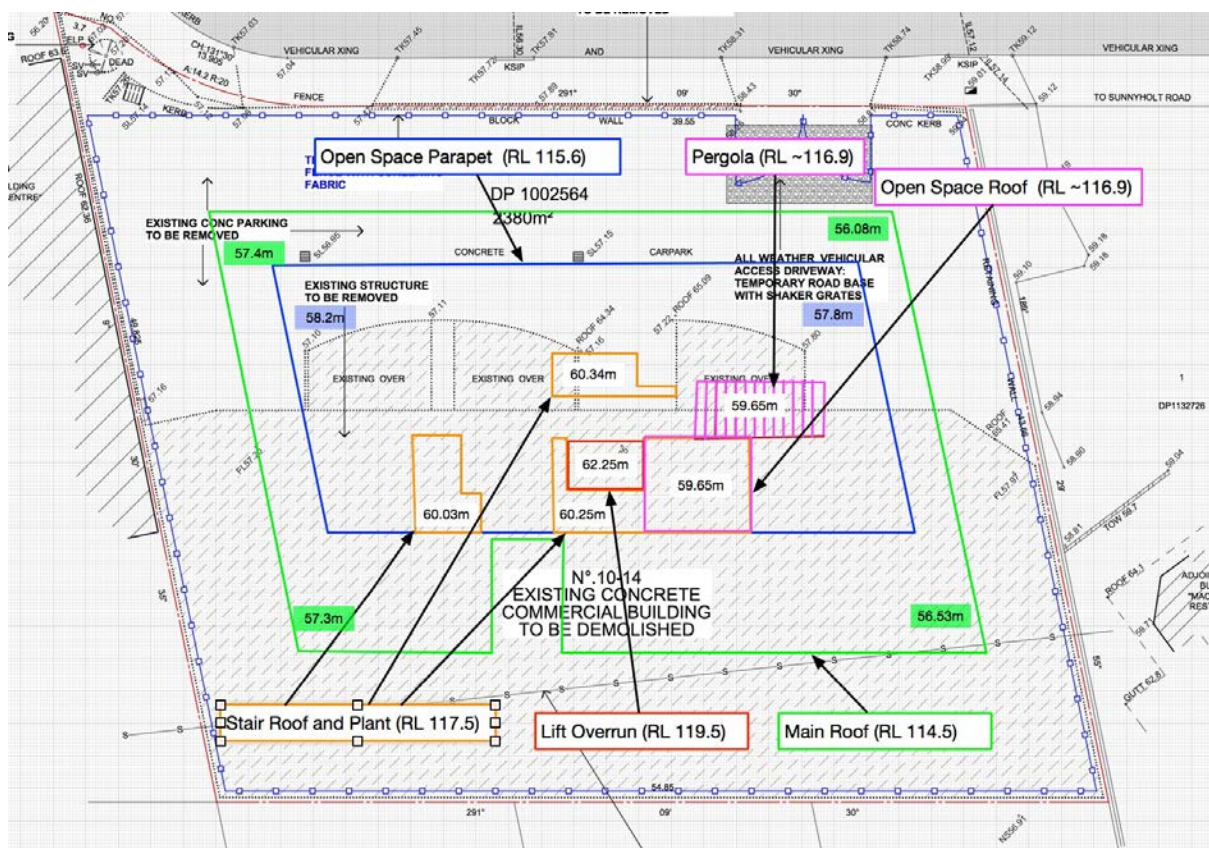


Figure 1: Building Height Analysis

The extent of non-compliance is summarised in the following table:



Building Element	Building Height	Variation (metres)	Variation (%)
Main Roof	56.08m to 57.4m	0.08m to 1.4m	0.14% to 2.5%
Open Space Parapet	57.8m 58.2m	1.8m to 2.2m	3.2% to 3.9%
Pergola and Open Space Covered Area	59.65m	3.65m	6.5%
Stair Roof and Plant Roof	60.03m to 60.34m	4.03m to 4.34m	7.2% to 7.7%
Lift Overrun	62.25m	6.25m	11.2%

Table 1: Summary of Height Variation

### 3.8 What is the Percentage Variation Between the Proposal and the Environmental Planning Instrument?

As per Table 1 above, the extent of variation ranges from 0.14% to 11.2%.

### 3.9 What Are the Ways in Which Strict Compliance of the Standard can be Demonstrated to be Unreasonable or Unnecessary in the Circumstances of the Case?

The matter of *Wehbe v Pittwater Council* [2007] NSWLEC 827 (21 December 2007) sets out 5 ways in which compliance with a development standard can be demonstrated to be unreasonable or unnecessary in the circumstances of the case. The 5 ways are:

- if the proposed development proffers an alternative means of achieving the objective, strict compliance with the standard would be unnecessary (it is achieved anyway) and unreasonable (no purpose would be served)
- the underlying objective or purpose is not relevant to the development with the consequence that compliance is unnecessary
- the underlying objective or purpose would be defeated or thwarted if compliance was required with the consequence that compliance is unreasonable

- the development standard has been virtually abandoned or destroyed by the Council's own actions in granting consents departing from the standard and hence compliance with the standard is unnecessary and unreasonable
- the zoning of particular land is unreasonable or inappropriate so that a development standard appropriate for that zoning was also unreasonable or unnecessary as it applied to that land and that "compliance with the standard in that case would also be unreasonable or unnecessary."

The subject application relies on the first of the Wehbe Tests being: the objectives of the standard are achieved notwithstanding non-compliance with the standard;

### **3.9.1 Assessment Methodology by which the Test of Unreasonable and Unnecessary and the Analysis of Whether there are Sufficient Environmental Planning Grounds to Support the Variation has Been Undertaken.**

Prior to discussing the particular reasons for variation in the circumstances of the case, as well as the environmental planning grounds which might justify contravention of the development standard, it is appropriate that I set out our methodology in undertaking that assessment.

#### ***3.9.1.1 Winten Tests***

The matter of *Winten Property v North Sydney* (2001) 130 LGERA 79 (*Winten*) relates to variation to a development standard under State Environmental Planning Policy No. 1 (Development Standards) (SEPP 1). However it remains applicable to a Request for Variation pursuant to clause 4.6 because the test of unreasonable or unnecessary in the circumstances of the case are common to both methods.

The 4 of the 5 *Winten* Tests are addressed in the Department of Planning's Guide for the Variation of Development Standards. That which is omitted from the Department's Guide is the second part of the fourth test, being, "would a development which complied with the standard be unreasonable or unnecessary?".

#### ***3.9.1.2 Four2Five, and Environmental Planning Grounds***

The term "environmental planning grounds" is not defined in BLEP 2015 nor any other environmental planning instrument. It is also not defined in the Department of Planning's Guide to Varying Development Standards

Nevertheless, given that demonstration of sufficient environmental planning grounds is a separate test under clause 4.6(3) to the test of "unreasonable or unnecessary in the circumstances of the case"; and that case law relevant to SEPP 1 such as *Wehbe v Pittwater Council* [2007] NSWLEC 827 (21 December 2007) and *Winten Property v North Sydney* (2001) 130 LGERA 79 deal with demonstration of "unreasonable and unnecessary in the circumstances of the case, it must therefore be concluded that "environmental planning

grounds" are a different test which cannot necessarily rely on the same methodology as laid down in SEPP 1 relevant Court decisions.

The matter of *Four2Five Pty Ltd v Ashfield Council* [2015] NSWLEC 1009 (30 January 2015) provides some helpful guidance on the subject of "environmental planning grounds", however it is in fact limited to defining some factors which are not environmental planning grounds. Paragraph 60 of Commissioner Pearson's decision states:

*The environmental planning grounds identified in the written request are the public benefits arising from the additional housing and employment opportunities that would be delivered by the development, noting (at p 5) the close proximity to Ashfield railway station, major regional road networks and the Ashfield town centre; access to areas of employment, educational facilities, entertainment and open space; provision of increased employment opportunities through the ground floor retail/business space; and an increase in the available housing stock. I accept that the proposed development would provide those public benefits, however any development for a mixed use development on this site would provide those benefits, as would any similar development on any of the sites on Liverpool Road in the vicinity of the subject site that are also in the B4 zone. These grounds are not particular to the circumstances of this proposed development on this site. To accept a departure from the development standard in that context would not promote the proper and orderly development of land as contemplated by the controls applicable to the B4 zoned land, which is an objective of the Act (s 5(a)(ii)) and which it can be assumed is within the scope of the "environmental planning grounds" referred to in cl 4.6(4)(a)(i) of the LEP. (emphasis added)*

In accordance with Commissioner Pearson's comments, we therefore acknowledge that "environmental planning grounds" must be grounds which are particular to the circumstances of the proposed development on the subject site", rather than more generic circumstances which might apply more broadly within the local context.

In the absence of a legislative or other definition we adopt a definition for "environmental planning grounds" as any matter arising from consideration of either Section 79C of the EP&A Act 1979 or its Objectives contained within Section 5 which in the circumstances of the particular development on the particular site, warrants variation from the development standard.



### **3.9.1.3 Conclusions Regarding Correct Methodology**

Clause 4.3 of BLEP 2015 establish a 56m building height limit for the subject site. Having carefully considered the requirements and directions set out in Wehbe, Winten (and particularly the fourth test) and the requirements of Four2Five in terms of environmental planning grounds needing to be particular to the site and development, then it is clear that the correct methodology by which to assess the Request for Variation is to compare the various outcomes which would arise from the site being developed with a 56m high building compared with the proposed development scenario.

In this regard, for the clause 4.6 Request for Variation to be allowed, it must be demonstrated that in the particular circumstances of the subject site, that the particular development proposal, will deliver a better development outcome when assessed against Section 79C matters and the Objectives of the EP&A Act 1979, than would be the case if the site were developed with a fully compliant building. It must also be demonstrated that the objectives of Clause 4.3 are still met.

### **3.10 How is Strict Compliance with the Standard Unreasonable or Unnecessary in the Circumstances of the Case?**

Having regard to the objectives of the development standard as well as the objectives of the B4 Mixed Use zone, the following sets out the ways in which the proposed building height complies with both sets of objectives, notwithstanding numerical non-compliance. Because each non-compliant element of the building has different issues and potential impacts, the reasons for variation have been set out in two parts. The first contains a single reason for variation which relates to the whole of the development. The second part provides specific reasons for variation which relate individually to each non-compliance element.

#### **3.10.1 Reason for Variation Which Relates to the Whole Development**

The primary reason that the proposed development is unable to be contained within the statutory height limit is because of three concurrent factors: there is a fixed vehicular access point; the topography of the site; and the need to achieve headroom clearance for commercial vehicles accessing the basement car park.

Third Avenue is a classified road and therefore an access denied road, pursuant to clause 101 (2)(a) of SEPP (Infrastructure) 2006. A service road has been constructed which services the subject site and its eastern adjoining neighbour (the McDonald's Restaurant). The service road discharges to Third Avenue adjacent to the western boundary of the subject site.

Vehicles merging from the service road onto Third Avenue, have the ability to queue back along the service road. Best traffic planning practice should seek to maximise the queue length before which vehicles egressing the subject basement will be delayed from accessing the service road because of the queue. This in turn means that the only

appropriate place to locate the vehicular access point for the subject site is adjacent the site's eastern boundary (i.e the furthest possible distance from the merge point of the service road with Third Avenue.

The site slopes downwards from east to west. Existing ground level at the north-eastern corner of the site is approximately 1.9m higher than the existing ground level at the north western boundary.

In order to accommodate commercial vehicle and waste service vehicle clearance, the top of the slab above the vehicular access must be a minimum of RL 62.1. When translated to existing ground level adjacent the western boundary, this results in the first floor being 5.5m above existing ground level.

If vehicular access could be provided adjacent the western boundary, much more of the ground level could be sunk into the ground adjacent the eastern boundary where the existing ground level is higher. However, given that the vehicular access must be fixed adjacent the eastern boundary, it has the effect of significantly elevating floor to ceiling height at ground floor adjacent the western boundary.

Part C4 of the Apartment Design Guide permits minimum floor to ceiling heights of 3.3m for the ground level of mixed use buildings. Accordingly, the specific access point, the need to service commercial vehicles and the topography of the site means that the first floor level is 2.2m higher than the minimum floor to ceiling height which would be possible on other sites where topography and fixed vehicular access were different to that which is present for the subject site.

This confluence of several site characteristics directing a specific design response causes parts of the main roof and open space parapet to exceed the statutory height limit. It also causes all other parts of the building which exceed the height limit, to do so by a greater margin.

The following Figure 2 provides graphic assistance in understanding the cause of the proposed non-compliance.

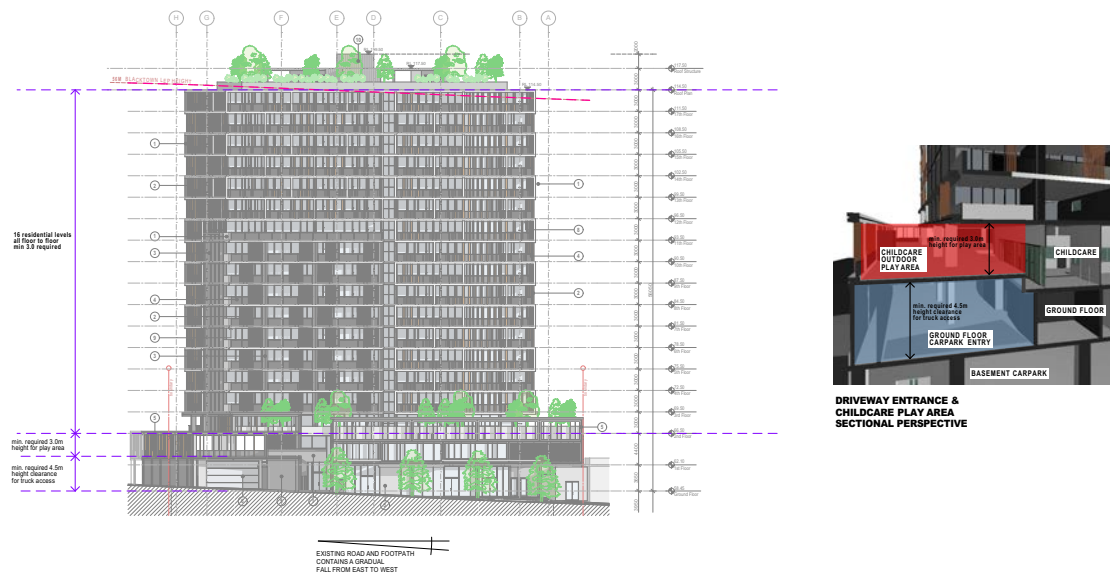


Figure 2: Elevation and Section Illustrating the Reason for Non-Compliance

A design alternative which located the vehicular access adjacent the western boundary would remove non-compliance in respect of the main part of the building. However such a design alternative is considered to be unreasonable given that it would produce a significantly inferior traffic planning outcome. Given that an alternative design which would achieve better compliance with the standard, and full compliance with the main part of the building is unreasonable, so it is that strict compliance with the standard in respect of the main part of the building considered to be unreasonable.

### 3.10.2 Reasons for Variation which Relate to Specific Elements of the Building

#### 3.10.2.1 *Main Building Roof Line*

##### Overview

The main roof exceeds the statutory height limit by between 0.08m (0.14%) and 1.4m (2.5%). The variation is greatest at the western end of the site due to natural slope of the land. By reference to Figure 4C.1 of the Apartment Design Guide (ADG), a 56m building height connotes an 18 storey building. This comprises 4.3m ground floor; 3.6m first floor and 16 x 3m residential levels (all dimensions include 300mm slab and services allowance). The proposed development delivers an 18 storey building and is therefore considered to be consistent with the planned urban design and development intensity outcomes anticipated by the planning controls.

However in the specific case of the proposed development, the first floor child care centre requires additional floor to ceiling height compared with the range of mixed uses anticipated by the ADG. The combined ground and first floor height of the proposed



development is 8.05m compared with the ADG recommended ground and first floor combined height of 7.9m (assuming 300mm allowance for slab and services).

Absent the influence land slope, the overall building height non-compliance is explained by the inclusion of the proposed child care centre at first floor. Replacement of the child care centre with say small offices would result in the height of the building being reduced by 0.8m such that the majority of the main roof line would comply with the development standard, and the extent of total non-compliance would be reduced to 0.6m (1.07% non-compliance). However the inclusion of the child care centre is considered to have wider community benefit and will provide positive social planning outcomes for future residents by removing transport and gender inequalities which can arise when child care placements either not available or far removed from the place of residence.

That part of the proposed exceedance in building height which is not caused by the inclusion of the child care centre is caused by the natural slope of the land. Strict compliance with the development standard would require the removal of the western half of the top most level. This would be considered to be a vastly inferior outcome to the development as proposed. Reasons for this conclusion are set out in detail later in this subsection.

Reason for Variation 1: The proposed variation to the height of buildings development standard does not derogate from the objectives of the zone. The proposed variation has no bearing on land use compatibility. Through the delivery of residential and commercial yield which is consistent with the planned floor space ratio for the site and locality, the proposed development, including as a consequence of the proposed variation to building height, maximises development in an accessible location.

Reason for Variation 2: The proposed development remains consistent with the objectives of the height of buildings development standard.

With regard to Objective (a) (visual impacts, privacy and solar access) compared with a compliant development, the proposed non-compliance will not have any noticeable visual or privacy impacts. Additional overshadowing would be in the order of 3.9m at 9am and 3pm and 1.95m at Noon on 21 June. However, upon redevelopment of the southern adjoining property, additional overshadowing would be limited to the northern elevation of that building or buildings. The southern adjoining properties are subject to the same 56m height limit at the subject site. Accordingly, the proposed height non-compliance would cause the shadow of the proposed building to be cast between 0.08m and 1.4m higher on the northern elevation of those buildings. The additional overshadowing is therefore in the order of 0.14% to 2.5%. This is considered to be minor in absolute terms. When allowing for the fact that only part of the northern elevations would be expected to provide windows or balconies, the extent of additional overshadowing to individual future units is assessed as negligible.

Given the proposed development will have negligible visual privacy or overshadowing impacts, compliance with Objective (a) of the standard is considered to be achieved.

Objective (b) deals with compatibility with adjoining and surrounding development. When viewed from surrounding sites and / or the surrounding public domain, the proposed height non-compliance would be imperceptible. In other words, a casual observer would not be able to appreciate any difference between the proposed development and one which was in fact 56m in height.

Further, the eastern adjoining site is subject to a 64m height limit. The relevance of this is that the streetscape will not comprise a homogenous line of 56m high buildings. In the context of a planned 10m height differential between directly adjoining sites, the proposed 1.4m height variation cannot be said to lead to a situation of building height incompatibility.

Accordingly, the proposed development is considered to be consistent with Objective (b) of the standard.

The proposed non-compliance does not lead to an exacerbation of the density of the development. Indeed, it is well below the statutory FSR. As such, the non-compliance does not offend the density management outcomes identified in Objective (c).

Objective (d) acknowledges the relationship between building height and the available three dimensional space occupied by a building. The objective expressly calls for the provision of sufficient space. The fact that the proposed development is some 5700sqm below the planned FSR for the site argues in favour of minor variation to the height of buildings standard as proposed. Accordingly, the proposed development is considered to be consistent with objective (d) and indeed the objective specifically supports the proposed variation.

The subject site is at the interface with R4 – High Density Residential zoned land which adjoins to the north. The proposed building height will not introduce any significant impacts to future development on that land. It is subject to a 20m height limit and as such, the proposed additional height will have no impact on availability of views to the south.

Reason for Variation 3: A hypothetical alternative development which complied with the standard would be significantly inferior to that which is proposed. In this regard, in order to achieve strict compliance with the height of buildings development standard, whilst also achieving AGD ceiling height requirements, it would be necessary to delete the western half of the top floor of the building.

The affected units are 17.03 to 17.07 inclusive (5 units) which together provide 10 bedrooms and approximately 464sqm GFA.

Such amendment to the submitted design is inferior on 3 counts.

First, it would cause significant harm to the visual outcome of the building. The proposed building is an iconic monolithic slab block design. The core of its architectural substance straight, unbroken perimeter lines. The offence which would be caused to the design outcome alone, outweighs any minor benefits which might be accrued through strict compliance.

Second, the roof top communal open space area would be vertically split resulting in inferior access through the space as well as a loss in recreational space due to the need to provide disabled accessible ramps.



Lastly, the deletion of 5 units, in circumstances where the proposed non-compliance is very minor, does not cause any significant adverse impacts, and where the development as proposed is already 5712sqm below the maximum permissible FSR would be contrary to objective 5(a)(ii) of the Act inasmuch as such an amendment could not be regarded as orderly and economic development of land.

For the above reasons, strict compliance with the height of buildings development standard as it applies to the main roof line of the building is considered to be unreasonable and unnecessary in the circumstances of the case.

### **3.10.2.2 Open Space Parapet Wall**

#### **Overview**

The open space parapet wall exceeds the height limit by between 1.8m and 2.2m. It is setback from the main roof line by between 2.895m and 7.568m.

Reason for Variation 1: The open space parapet will not be visible from the public domain unless viewed from a considerable distance from the site.

The open space parapet will not be visible from ground level unless viewed from a horizontal distance of some 111.08m from the eastern elevation of the building<sup>1</sup>. The distance from which the parapet would be visible from ground level is greater for all other directions since it is setback further from the outer edge of the building.

Reason for Variation 2: The proposed parapet wall does not result in any offence to the objectives of the zone.

---

<sup>1</sup> Calculated using basic trigonometry but which does not take into account land slope over the intervening distance.



An alternative development which complied with the standard would require deletion of the entire top floor of the building. This would result in the loss of 9 units in circumstances where the proposed development as proposed is already considerably below the statutory FSR. Compared with a development which complied with the standard, the proposed development is considered to better respond to the objectives of the B4 Mixed Use zone.

Reason for Variation 3: The proposed open space parapet wall does not offend the objectives of the height of buildings development standard.

The parapet wall has nil impacts on privacy or overshadowing and imperceptible if any visual impacts. Accordingly, the proposed development is consistent with Objective (a) of the standard.

Given that the parapet wall will not be visible from the public domain within the vicinity of the site, there are no compatibility issues and as such, the proposed development is consistent with Objective (b) of the standard.

The proposed development has no consequential impact on development density. As such objective (c) is considered to be of limited relevance, other than to observe that the loss of 9 units in order to bring the parapet wall into compliance with the standard would represent an offense to that objective.

The proposed parapet wall will not be visible at all from future apartments in the R4 – High Density Residential zone to the north of the site. As such there are no interface issues and Objective (d) of the standard is not offended.

For the above reasons, strict compliance with the height of buildings development standard as it applies to the parapet wall is considered to be unreasonable and unnecessary in the circumstances of the case.

#### Pergola and Open Space Covered Area

##### Overview

The roof top pergola and roof of the covered seating area are not provided with express RLs in the amended plans. However by scaling they exceed the height limit by 3.65m or 6.5% of the standard. They are situated a minimum of 7m from the eastern edge of the main roof and a significantly greater distance to the edge of the main roof in all other directions. The height of the pergola is not specified, but for the purposes of this assessment, we adopt an 2.7m as a worst case scenario.

Reason for Variation 1: The pergola and seating roof will not be visible from the public domain unless viewed from a distance of 153m from the eastern elevation of the building. The structures would only be visible from other directions when viewed at considerably greater distance.

Reason for Variation 2: The proposed open space pergola and seating area roof do not offend the objectives of the zone or the objectives of the standard. The reasons in that regard are the same as detailed above in respect of the open space parapet.

Reasons for Variation 3: The non-compliance could be removed by deleting these elements from the design. The same would result in inferior amenity for users of the communal open space area. Given that the structures do not cause any adverse impacts, have negligible visibility from the public domain and positively contribute to the amenity of the building, the removal of the structures would result in an inferior outcome to the current proposal.

For the above reasons, strict compliance with the standard in respect of the pergola and seating area roof is considered to be unreasonable and unnecessary in the circumstances of the case.

### ***3.10.2.3 Stair Roof and Plant Roof***

#### **Overview**

The roof over the roof top stair access and the roof of plant housings are between 4.04m and 4.34m above the 56m height of buildings development standard. They are situated generally centrally to the roof top with a minimum distance from the edge of the main roof of 12m (being to the eastern elevation of the building proper).

Reason for Variation 1: The subject structures will not be visible from the public domain unless viewed at a distance of 218m from the eastern elevation of the building. The structures would be visible from other directions by a greater distance.

Reason for Variation 2: The proposed stair roof and plant structures do not offend the objectives of the zone or the objectives of the standard. The reasons in that regard are the same as detailed above in respect of the open space parapet (and pergola and seating area roof).

Reasons for Variation 3: Deletion of the roof stairs and roof top plant, whilst theoretically possible, would result in an inferior and less efficient development outcome. Plant would need to be relocated to subterranean basement areas and the roof stairs replaced with emergency stairs with emergency hatch type access. In circumstances where the stair roofs and roof top structures cause no appreciable impacts, such a reduction in operational efficiency and resident amenity is considered to be unreasonable.

For the above reasons, strict compliance with the height of buildings development standard as it applies to the stair roofs and roof plant is considered to be unreasonable and unnecessary in the circumstances of the case.

### 3.10.2.4 Lift Over Runs

#### Overview

The lift over runs are situated centrally to the roof of the building. They exceed the statutory height limit by 6.25m or 11.2%.

Reason for Variation 1: The proposed lift over runs will only be visible from the ground level public domain<sup>2</sup> from a distance of 100.1m. At this distance, the lift over runs will have negligible effect on the perceived height, bulk or scale of the proposed development.

Reason for Variation 2: The proposed lift over runs do not offend the objectives of the B4 Mixed Use zone. In this regard, the proposed lift over runs do not have any impact on land use compatibility and do not have direct effect on public transport patronage or walking / cycling transport modes. However, reducing the height of the lift over runs would require a reduction in the height of the building by two storeys. This would result in a significant loss in residential yield with consequential adverse effects to the transit orientated development outcomes which are intended by the zone objectives.

Reason for Variation 3: The proposed lift over runs do not offend the objectives of clause 4.3.

Given the position of the lift over runs relative to the edge of the main roof line, they will not be visible from the ground level public domain unless viewed from a distance greater than 100m. There is no overlooking potential as a consequence of their presence and operation. Further, the additional overshadowing caused by the lift over runs is limited to the early and late parts of the day. Shadow cast at 12 Noon, midwinter falls on the main roof of the building as demonstrated in the following

---

<sup>2</sup> Calculated using basic trigonometry but which does not take into account land slope over the intervening distance.





Figure 3: Midday Shadow Cast of Lift Over Run

Accordingly, it is concluded that the proposed lift over run has no impacts on privacy, and negligible impacts in terms of visual and solar access considerations. As such, no offense is caused to Objective (a) of the standard.

Given the limited visibility of the lift over runs from the surrounding public domain, their presence does not raise any issues with respect to compatibility with adjoining development. As such, the proposal does not offend Objective (b) of the standard.

The lift over runs do not have any consequential effect development density in appropriate locations. Accordingly, no offense is caused to Objective (c) of the standard.

The lift over runs are an integral functional element of the building. They are fundamental in ensuring access to the top level of the building and to the roof top communal open space. Their presence is actively supported by Objective (d) and as such, there is no offense to that objective.

The proposed lift over runs will not be visible from any part of future development of the northern adjoining R4 – High Density Residential zone. As such, there are no interface issues and the Objective (e) of the standard is not offended.

Reason for Variation 4: A hypothetical alternative design which located the lift over runs beneath the 56m statutory height limit would require the deletion of two-storeys from the proposed development. Given the proposal already proposes significantly less than the statutory maximum floor space ratio, a further reduction of 16 units from the proposal is not

justified nor appropriate. The same would represent a sever offence to Objective 5(a)(ii) of the Act, as well as Objectives (d) and (e) of clause 4.3 of BLEP 2015.

### **3.11 What are the Environmental Planning Grounds to Justify Contravening the Development Standard?**

As mentioned above, neither the LEP, nor any other environmental planning instrument provides a specific definition of the term “environmental planning grounds”. Similarly, the Department of Planning and Infrastructure’s August 2011 document entitled “Varying Development Standard: A Guide” does not attempt to define “environmental planning grounds”.

We adopt a definition of “environmental planning grounds” as any matter arising from consideration of either Section 79C of the EP&A Act 1979 or its Objectives contained within Section 5, which in the circumstances of the particular development on the particular site, warrants variation from the development standard.

Based on that methodology, the environmental planning ground which support variation to the standard in this instance are:

1. The main roof line exceeds the height limit by only a very minor degree. The non-compliance is caused by two factors. First, the proposed child care centre requires that the floor to ceiling heights of the lower two levels is higher than would be required had the proposal not incorporated a child care centre. The second factor leading to the main roof non-compliance is the natural slope of the land whereby the ground level is lower at the western side of the site.

The child care centre delivers a wider community benefit and will also impart positive social planning outcomes for new residents by redressing child care and transport barriers which can contribute to gender and transport inequalities. As such, whilst redesign to exclude the child care centre would reduce the extent of non-compliance, such an alternative is not favoured and would represent an inferior environmental planning outcome compared with the current proposal.

The slope of the land is not so significant as to suggest that a split level design would be more desirable or appropriate. The specific design language adopted by the proposal can be described as an iconic, monolithic slab building. A characteristic aspect of that design typology is strongly linear perimeter lines. Significant harm would be caused to the design integrity of the building by introducing a step at the top level of the building.

For the above reasons, there are both particular aspects of the proposed development and particular aspects of the subject site which support minor variation in the main roof height as proposed.

2. All structures above the roof height have been specifically located so as to have negligible visibility when viewed from the public domain. Further, due to the specific relationship of the subject site to existing and likely future surrounding development, those structures will not cause adverse impacts by way of overshadowing or bulk and scale.

Having regard to the above, there are both particular aspects of the proposed development and particular aspects of the relationship between the subject site and its neighbours, which support variation to the standard in respect of the height of all structures above the main roof line of the building.

### **3.12 Does contravention of the development standard raise any matter of significance for State or Regional Environmental Planning?**

There are no issues of State significance associated with the proposed variation to the development standard.

### **3.13 What is the Public Benefit of Maintaining the Standard?**

Given the minor extent of non-compliance in respect of the main roof line, and given the limited visibility of other structures above the main roof line, there are no significant public benefit issues.



### 3.14 How Would a Development Which Complied with the Standard, be Unreasonable or Unnecessary in the Circumstances of the Case?

Whilst not specifically raised within the Department's Guide, the above question is a requisite test because it is identified raised at the second part to the fourth test is *Winten Property v North Sydney* (2001) 130 LGERA 79. It is also a test which is repeated in *Four2Five Pty Ltd v Ashfield Council* [2015] NSWLEC 1009 (30 January 2015).

It has been observed in several instances above that a hypothetical alternative design, which complied with the standard would represent an inferior development outcome. Strict compliance with the standard would require either or both reduced residential yield, and / or reduced residential amenity.

The circumstances of the subject application are that it proposes some 5712sqm less floor space than the planning controls anticipate for the site. It is also the case that each of the components of the building which exceed the height limit impart minimal or negligible impacts. This includes impacts which are directly referable to the objectives of the B4 Mixed Use zone and of clause 4.3 of BLEP 2015. A reduction in residential yield necessary to achieve compliance would represent an offence to Objective 5(a)(ii) of the Act because such outcome would not be consistent with orderly and economic development of land. It would also be an offense to Objective (c) clause 4.3 because it would unnecessarily under deliver residential accommodation in a location which is highly desirable for the same given principles of transit orientated development. Also, it would be contrary to Objective (d) of clause 4.3 because such amendment would result in insufficient space being available for residential uses, relative to the remaining planning controls, the constraints of the land and the impacts of the proposal.

Signed,



David Haskew (B.T.P Hons 1)  
Consulting Town Planner

## Council assessment of Clause 4.6 request

### 1 5-part test assessment of Clause 4.6 variation request

The Land and Environment Court has established the following 5-part test for a consent authority to take into consideration when deciding whether to grant concurrence to a variation to a development standard:

**i. The objectives of the standard are achieved notwithstanding non-compliance with the standard**

#### Height

The objectives of Clause 4.3 Height of buildings are as follows:

- (a) *To establish maximum height controls for buildings as a means of controlling the density and scale of buildings*
- (b) *To nominate heights that will provide a transition in built form and land use intensity*
- (c) *To define focal points by way of nominating greater building heights in certain locations*
- (d) *To provide sufficient space for development for the purposes of retail premises, commercial premises and residential accommodation*
- (e) *To allow sun access to the public domain and ensure that specific areas are not overshadowed*
- (f) *To ensure that buildings and public areas continue to receive satisfactory exposure to the sky and sunlight*
- (g) *To minimise any visual impact on, or loss of solar access to, land in the vicinity of proposed development as a result of that development*
- (h) *To minimise any loss of privacy to residential land as a result of proposed development*
- (i) *To ensure that there is an appropriate interface between commercial centres and land in any adjoining residential zone or in any adjoining public land.*

- **Maximum height**

The maximum height limit on the site is 56 m. Although the development exceeds the permissible height by 6.5 m, the proposed breach of height has no impact on the scale of the development as it is only due to a few point encroachments of plant and equipment. The proposed height therefore does not impact on the density/floor area of the development. The additional height simply provides a larger base to the building which improves the overall look and design of the development.

- **Solar access to buildings and open space of adjoining development and land**

The additional shadow impacts are negligible. The majority of the overshadowing caused by the non-compliance is due to the lift overrun and rooftop plant and equipment which are captured within the roof space itself.

- **Range of building heights in appropriate locations**

The site is considered suitable for the development given its proximity to the Blacktown Railway Station and the Blacktown CBD. The additional height does not result in any additional yield and does not result in an additional storey. The proposed number of storeys, being 18 in total, is consistent with other shop top housing developments proposed in the 56 m height limit area (e.g. JRPP-15-467 at 16 Third Avenue, JRPP-15-1263 at 2 Second Avenue, JRPP-15-02533 at 20 Second Avenue and JRPP-15-2087 at 2 - 10 First Avenue). 3 - 4 m Ceiling heights are proposed to the podium level of the building which contributes to a good quality design to the streetscape. Reduction to the height of the building by way of lowering the ceiling heights would compromise the streetscape design of the building.

- **Privacy impacts**

The building height variation does not result in any additional privacy impacts on adjoining properties. The rooftop area will not be used for open space purposes.

**ii. The underlying objective or purpose of the standard is not relevant to the development and therefore compliance is unnecessary**

The purpose of the standards is relevant to the proposal. However, strict compliance in this circumstance is considered unreasonable for the reasons as discussed in Section v outlined below in this report.

**iii. The underlying object or purpose would be defeated or thwarted if compliance was required and therefore compliance is unreasonable**

The purpose of development standards would not be defeated if compliance was strictly required. However, full compliance is considered unreasonable as the proposal is in keeping with the established pattern in the area and is limited mainly to the lift overrun and rooftop plant equipment area. The objectives of the standards, as outlined above, will still be achieved despite the variations. Overshadowing impact to be created by the height variations are not detrimental to the adjoining neighbours.

**iv. The development standard has been virtually abandoned or destroyed by the council's own actions in granting consents departing from the standard and hence compliance with the standard is unnecessary and unreasonable**

Variations to the height and FSR development standards have been previously supported in the CBD. Council officers have also consistently allowed the lift overruns and rooftop area to encroach above the permissible height limit.

Developments of a similar scale to this DA (i.e. 18 storeys only) have been approved within the northern precinct of the CBD with variations to the height and FSR, including the development at 28 Second Avenue (JRPP-14-2593) and the development at 2 - 10 First Avenue (JRPP-15-2087).



- v. The compliance with the development standard is unreasonable or inappropriate due to existing use of land and current environmental character of the particular parcel of land. That is, the particular parcel of land should not have been included in the zone**

The proposal is appropriate in its height given the site's context in the Blacktown CBD as surrounded by varied building height requirements (under the BLEP 2015) of 64 m for the McDonald's site, and of 72 m along Second Avenue and Prince Street on the south-western side of the subject site. As indicated previously in Section (i) of this report, 2 DAs comprising of 18 storey developments within the 56 m building height zone had been approved. The proposed height variations are intended to create usable space for the benefit of future residents and a better designed building. Given the environmental character of the area, the proposal is considered acceptable.

Based on the above assessment, the requested variations under Clause 4.6 are considered reasonable, well founded and are recommended for support.

**ATTACHMENT 9 – Draft Conditions of Consent – JRPP-16-03334****1 ADVISORY NOTES****1.1 Terminology**

- 1.1.1 Any reference in this document to a ‘consent’ means a ‘development consent’ defined in the Environmental Planning and Assessment Act 1979.
- 1.1.2 Any reference in this consent to a Construction, Compliance, Occupation or Subdivision Certificate is a reference to a certificate as defined by Section 4.68 of the Environmental Planning and Assessment Act 1979.

**1.2 Scope of Consent**

- 1.2.1 Separate approval is required prior to the fit out of retail/commercial space on the ground floor. The applicant is advised to contact Council's Development Services Unit in this regard.
- 1.2.2 The granting of this consent does not imply or confer compliance with the requirements of the Disability Discrimination Act 1992. The applicant is advised to investigate any liability that may apply under that Act. The current suite of Australian Standard 1428 - Design for Access and Mobility, should be consulted for guidance. The prescriptive requirements of Part 1 of the Standard apply to certain buildings requiring development consent.

**1.3 Other Approvals**

- 1.3.1 A separate valid Construction Certificate shall be issued prior to commencement of any construction works.
- 1.3.2 The applicant's attention is drawn to the need to obtain Council's separate approval for any ancillary development not approved by this consent, including:
  - (a) the removal of any tree(s) not indicated on the approved plans and any tree(s) located greater than 3 metres from the building perimeter, and
  - (b) any fence, retaining wall, land excavation or filling, advertising structure or other development not being exempt development, and
  - (c) demolition of any existing buildings and associated structures in accordance with the requirements of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008, and
  - (d) the erection of any advertising sign, not being ‘Exempt Development’ within the State Environmental Planning Policy (Exempt and Complying Development) 2008, and
  - (e) the use or fit-out of any shop or commercial premises not being ‘Exempt Development’ within the State Environmental Planning Policy (Exempt and Complying Development) 2008, and
  - (f) the installation of a vehicular footway crossing servicing the development.

- (g) separate Council approval under the Roads Act 1993 is required for any crane used to construct this development that swings over public air space.

1.3.3 This consent does not authorise the encroachment or overhang of any building or structure over or within any easement.

#### 1.4 **Services**

1.4.1 The applicant is advised to consult with:

- (a) Sydney Water Corporation Limited
- (b) Energy provider
- (c) Natural Gas Company
- (d) The relevant local telecommunications carrier

regarding any requirements for the provision of services to the development and the location of existing services that may be affected by proposed works, either on the land or on the adjacent public road(s).

All approved building construction plans attached to the Construction Certificate should be submitted to and stamped by a Sydney Water Corporation Limited Customer Centre or a Sydney Water Quick Check Agent as an indication that the proposal complies with the Sydney Water requirements. Sydney Water may also require the applicant to obtain a Trade Waste Approval as part of the operation of the approved development. Enquiries should be made to ascertain the Sydney Water requirements for the eventual operation of the approved use.

1.4.2 Prior to any demolition works, all services or utilities should be disconnected in consultation with the relevant service provider.

1.4.3 Underground assets may exist in the area that is subject to your application. In the interests of health, safety, and in order to protect damage to third party assets, please contact Dial Before You Dig at [www.1100.com.au](http://www.1100.com.au) or telephone on 1100 before excavating or erecting structures (this is the law in NSW). If alterations are required to the configuration, size, form or design of the development upon contacting the Dial Before You Dig service, an amendment to the development consent (or a new development application) may be necessary. Individuals owe asset holders a duty of care that must be observed when working in the vicinity of plant or assets. It is the individual's responsibility to anticipate and request the nominal location of plant or assets on the relevant property via contacting the Dial Before You Dig service in advance of any construction or planning activities.

1.4.4 Telstra (and its authorised contractors) are the only companies that are permitted to conduct works on Telstra's network and assets. Any person interfering with a facility or installation owned by Telstra is committing an offence under the Criminal Code Act 1995 and is liable for prosecution. Furthermore, damage to Telstra's infrastructure may result in interruption to the provision of essential services and significant costs. If you are aware of any works or proposed works which may affect or impact on Telstra's assets in any way, you are required to contact: Telstra's Network Integrity Team on phone number: 1800 810 443.



## 1.5 Identification Survey

- 1.5.1 The applicant is advised to obtain an identification survey from a registered surveyor to ascertain the correct location of the property boundaries, and to ensure the development does not encroach upon adjoining properties.

## 1.6 Services

- 1.6.1 The developer shall be responsible for all public utility adjustment/relocation works, necessitated by the above work and as required by the various public utility authorities and/or their agents.

## 1.7 Engineering Notes

- 1.7.1 Any Construction Certificate covering Engineering Works must include and address the following:

- Design of specified Engineering Works as required by this consent.
- Any ancillary works necessary to make the construction effective

If both Building and Engineering works are required, separate construction certificates can be issued for the following works:

- Construction Certificate for Building Works
- Construction Certificate for Engineering Works (As nominated in the 'Prior to Construction Certificate (Engineering)' section of the consent)

Works which require approval under the *Roads Act 1993* or *Local Government Act 1993* CAN NOT be privately certified. Examples of these works are, but not limited to:

- Works in public areas (i.e. Road Reserve, Public Reserves)
- Inter-allotment drainage (i.e. drainage outside the boundary of the land being developed)

Engineering works (as nominated in the 'Prior to Construction Certificate (Engineering)' section of the consent) can be included within a Construction Certificate for Building works, provided that:

- All Engineering Works are specifically mentioned on the Construction Certificate
- The Certifier holds relevant qualifications to issue a Construction Certificate for the Engineering works. Appropriate accreditation qualifications must be shown on Construction Certificate.

- 1.7.2 All works requiring approval under the *Roads Act 1993* or *Local Government Act 1993* must be approved PRIOR to the issue of any Construction Certificate.

## **1.8 Payment of Engineering Fees**

1.8.1 If the applicant wishes for Council to issue the Construction Certificate for Engineering Works (As nominated in the 'Prior to Construction Certificate (Engineering)') the applicant must:

- Complete application form
- Submit all relevant plans produced by a suitably qualified person and in accordance with Councils Standards.

A quote will be provided verbally followed by confirmation in writing.

1.8.2 If the applicant wishes for Council to undertake Construction inspections and issue a Compliance Certificate for engineering works, the applicant must:

- Complete application form
- Submit all relevant plans produced by a suitably qualified person
- If plans are privately certified, applicant must supply Construction Certificate covering the required works.

A quote will be provided verbally followed by confirmation in writing.

## **1.9 Other Matters**

1.9.1 Approval is given for the care of a maximum of 155 places (32 children aged 0 – 2 years; 36 children aged 2 – 3 years; and 87 children aged 3 – 5 years).

1.9.2 This consent does not authorise the use of the premises for child care centre purposes unless the operator and all employees are in possession of a current licence from the NSW Department of Family and Community Services.

## **2 GENERAL**

### **2.1 Scope of Consent**

2.1.1 This consent relates to the following drawings/details submitted to Council with the Development Application, subject to compliance with any other conditions of this consent:

Drawing No.	Dated	Prepared by
Demolition Plan A101 Issue B	16/01/2017	Algorry Zappia & Associates
Site Analysis Plan A104 Issue B	16/01/2017	Algorry Zappia & Associates
Levels 1 – 5 Basement Plans A201 – A2015 Issue C inclusive	16/01/2017	Algorry Zappia & Associates
Ground Floor Plan A206 Issue H	06/12/2017	Algorry Zappia & Associates
First Floor Plan A207 Issue C	01/05/2017	Algorry Zappia & Associates
Levels 2 – 11 Floor Plans A208 – A217 Issue C inclusive	01/05/2017	Algorry Zappia & Associates
Level 12 – 17 Floor Plans A218 – A223 Issue B inclusive	16/01/2017	Algorry Zappia & Associates
Roof Plan A224 Issue B	16/01/2017	Algorry Zappia & Associates
Elevation Plans A301 – A304 Issue C inclusive	01/05/2017	Algorry Zappia & Associates
Section Plans A401- A402 Issue B inclusive	16/01/2017	Algorry Zappia & Associates
External Materials and Finishes A501 Issue B	16/01/2017	Algorry Zappia & Associates
Swept Path Diagrams A511 Issue E	06/12/2017	Algorry Zappia & Associates
Landscape Plans Dwg Nos. 33- 16.01 – 33-16.04 (4 sheets) Issue B inclusive	19/07/2016	Distinctive Living Design

\*Unless modified by any conditions of this consent.

## 2.2 Suburb Name

- 2.2.1 The land the subject of this consent is known to be located in the following suburb. This suburb name shall be used for all correspondence and property transactions:

Suburb: BLACKTOWN

- 2.2.2 Any advertising of land sales in association with the approved development shall clearly indicate that the development is located in the following suburb. No other estate names shall be used in any advertisements or other promotional information:

Suburb: BLACKTOWN

## 2.3 Compliance with BASIX Certificate

- 2.3.1 All commitments listed in BASIX Certificate 751885M dated 31 August 2016 shall be complied with.



## 2.4 Engineering Matters

### 2.4.1 Design and Works Specification

2.4.1.1 All engineering works required by this consent must be designed and undertaken in accordance with the relevant aspects of the following documents except as otherwise authorised by this consent:

- (a) Blacktown City Council's Works Specification - Civil (Current Version)
- (b) Blacktown City Council's Engineering Guide for Development (Current Version)
- (c) Blacktown City Council Development Control Plan (Current Version) including Part J – Water Sensitive Urban Design and Integrated Water Cycle Management
- (d) Blacktown City Council Growth Centre Precincts Development Control Plan
- (e) Blacktown City Council Soil Erosion and Sediment Control Policy (Current Version)
- (f) Blacktown City Council On Site Detention General Guidelines and Checklist
- (g) Upper Parramatta River Catchment Trust On Site Stormwater Detention Handbook THIRD Edition December 1999.

Design plans, calculations and other supporting documentations prepared in accordance with the above requirements **MUST** be submitted to Council with any application for Construction Certificate, *Road Act 1993* or *Local Government Act 1993* approval.

Any Construction Certificates issued by Private Certifiers must also be accompanied by the above documents.

NOTE: Any variations from these design requirements must be separately approved by Council.

2.4.1.2 The Applicant is required to submit to Council, Bonds and/or Contributions for works associated with the development in conjunction with the civil engineering works required to be constructed as part of this development. Works may include:

- Maintenance of the construction works

These matters will be individually addressed within the consent

2.4.1.3 Prior to release of any bond securities held by Council for civil engineering works, the payment of a bond release inspection fee in accordance with Council's Goods and Services Pricing Schedule must be made.

2.4.1.4 Written notice must be provided to adjacent properties, at least 5 days prior to works commencing, where works are approved by this consent and located within Council controlled lands (i.e. Roads, drainage reserves, parks, etc).

A copy of this notice must be provided to Council's Co-ordinator of Engineering Approval.

#### **2.4.2 Other Necessary Approvals**

2.4.2.1 A separate application will be required for the following approvals, under the *Local Government Act 1993* and/or the *Roads Act 1993*.

- Vehicular Crossing
- Works on or occupation of existing public roads (Not including works covered by a Roads Act Approval)

#### **2.5 Other Matters**

2.5.1 No construction preparatory work (including tree or vegetation removal, ground clearing, excavation, filling, and the like) shall be undertaken on the land prior to a valid Construction Certificate being issued for the construction works.

2.5.2 Any future substation, temporary drainage works or other utility installation required to service the approved subdivision/development shall not be sited on future or existing Council land, including road reservations and/or public reserves.

#### **2.6 Other Drainage Section Matters**

2.6.1 Each year by the first business day on or after 1 September the registered proprietor/lessee is to provide to Council's Asset Design Services Section a report outlining all maintenance undertaken on the Stormwater Quality Improvement Devices and rainwater tank in accordance with the approved maintenance schedule and details of all non-potable water used. All material removed are to be disposed of in an approved manner. Copies are to be provided of all contractor's cleaning reports or certificates to Council's WSUD Compliance Officer.

2.6.2 No construction preparatory work (including tree or vegetation removal, ground clearing, excavation, filling, and the like) shall be undertaken on the land prior to a valid Construction Certificate being issued for the construction works.

2.6.3 In relation to matters concerning Aboriginal archaeology, should any archaeological material be uncovered during construction activities on any location within the proposed development, then all works are to cease immediately and representatives of the Office of Environment and Heritage (National Parks and Wildlife Service) and a member of each of the Western Sydney Aboriginal Stakeholder Groups is to be contacted.

#### **2.7 Roads and Maritime Services – General Terms of Approval**

1. Detailed design plans and hydraulic calculations of any changes to the stormwater drainage system are to be submitted to Roads and Maritime for approval, prior to the commencement of any works.

Details should be forwarded to:

The Sydney Asset Management Roads and Maritime Services  
PO Box 973, Parramatta CBD 2124.

A plan checking fee will be payable and a performance bond may be required before Roads and Maritime approval is issued. With regard to the Civil Works requirement please contact the Roads and Maritime Project Engineer, External Works Ph: 8849 2114 or Fax: 8849 2766.

2. The developer is to submit design drawings and documents relating to the excavation of the site and support structures to Roads and Maritime for assessment, in accordance with Technical Direction GTD2012/001.

The developer is to submit all documentation at least six (6) weeks prior to commencement of construction and is to meet the full cost of the assessment by Roads and Maritime.

The report and any enquiries should be forwarded to:

Project Engineer, External Works  
Sydney Asset Management Roads and Maritime Services  
PO Box 973, Parramatta CBD 2124.

Telephone: 8849 2114

Fax: 8849 2766

3. If it is necessary to excavate below the level of the base of the footings of the adjoining roadways, the person acting on the consent shall ensure that the owner/s of the roadway is/are given at least 7 days' notice of the intention to excavate below the base of the footings. The notice is to include complete details of the work.
4. Full time 'No Stopping' restrictions are to be implemented along the frontage of the development site. This restriction should be implemented prior to the commencement of any demolition works relating to the proposed development. Council is to ensure that appropriate community consultation is undertaken prior to the implementation of the above parking restrictions.

### **3 PRIOR TO DEMOLITION WORKS**

#### **3.1 Safety/Health/Amenity**

- 3.1.1 Security fencing shall be provided around the perimeter of the demolition site to prevent unauthorised entry to the site. Notices complying with AS 1319-1994 and displaying the words 'DANGER - DEMOLITION IN PROGRESS', or similar message shall be fixed to the fencing at appropriate places to warn the public.
- 3.1.2 A sign shall be erected in a prominent position on the land indicating the name of the person in charge of the work site and a telephone number at which that person may be contacted outside working hours.



### 3.1.3 Should the demolition work:

- (a) be likely to be a danger to pedestrians in a public place or occupants of any adjoining land or place,
- (b) be likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or
- (c) involve the enclosure of a public place,

a hoarding or protective barrier shall be erected between the work site and the public place or adjoining land or place. Such hoarding or barrier shall be designed and erected in accordance with Council's current Local Approvals Policy under the Local Government Act 1993.

Where necessary, an awning shall be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place or adjoining land or place.

The hoarding, awning or protective barrier shall be effectively illuminated between sunset and sunrise where it may be hazardous to any person in the public place.

### 3.1.4 Toilet facilities shall be provided on the land at the rate of 1 toilet for every 20 persons or part thereof employed at the site.

Each toilet provided shall be:

- (a) a standard flushing toilet, and
- (b) connected:
  - i to a public sewer, or
  - ii if connection to a public sewer is not practicable, to an accredited sewage management facility provided by the Council, or
  - iii if connection to a public sewer or an accredited sewage management facility is not practicable to some other sewage management facility approved by Council.

### 3.1.5 Soil erosion and sediment control measures shall be provided in accordance with Council's Soil Erosion and Sediment Control Policy.

## 3.2 Tree Protection

Any tree not indicated on the approved Development Application plans as being removed shall be effectively protected against damage.

### 3.3 Site Investigation

A qualified environmental geoscientist accredited by NSW Environment Protection Authority (under the provisions of the Contaminated Land Management Act 1997) shall be engaged to undertake an investigation of the land to ascertain if the site has been affected by any contaminants (including, but not limited to, asbestos, organochlorins, arsenic, lead, petroleum residues and the like) that may be detrimental to the health of any future occupants and/or workers. The report shall identify the contaminants (if applicable) and shall make recommendations on the method of remediation of the land.

### 3.4 Other Matters

3.4.1 The Applicant is to advise all adjoining neighbours, and those located opposite the subject development site, by letter, of their intention to commence demolition work. The letter shall be distributed at least 2 days prior to the intended work and include the following information:

- date/s, hours and duration of the works.
- contact name and phone number of the applicant
- contact name and phone number of the licensed demolisher
- WorkCover NSW contact number 131050, and email address [contact@workcover.nsw.gov.au](mailto:contact@workcover.nsw.gov.au)

## 4 DURING DEMOLITION WORKS

### 4.1 Safety/Health/Amenity

- 4.1.1 Security fencing shall be maintained around the perimeter of the demolition site to prevent unauthorised entry to the site at all times during the demolition works. Notices lettered in accordance with AS 1319-1994 and displaying the works 'DANGER - DEMOLITION IN PROGRESS', or similar message shall be maintained on the fencing at appropriate places to warn the public.
- 4.1.2 A sign shall be maintained in a prominent position on the land indicating the name of the person in charge of the work site and a telephone number at which that person may be contacted outside working hours.
- 4.1.3 Any hoarding or protective barrier required to be erected between the work site and the public place on adjoining land or place shall be maintained in an effective condition.
- 4.1.4 The required toilet facilities shall be maintained on the land at the rate of 1 toilet for every 20 persons or part of 20 persons employed at the site.
- 4.1.5 Soil erosion and sediment control measures shall be maintained in accordance with Council's Soil Erosion and Sediment Control Policy.
- 4.1.6 Any excavation and/or backfilling associated with the demolition works shall be executed safely and in accordance with appropriate professional standards, with any excavation properly guarded and protected to prevent them from being dangerous to life or property.

- 4.1.7 All demolition work and handling of materials shall be in accordance with Australian Standard 2601-2001 (Demolition of Structures) and all applicable NSW WorkCover Authority requirements including the Code of Practice for the Safe Removal of Asbestos' – National Occupational Health and Safety Commission: 2002 (if applicable)
- 4.1.8 The remaining portions of each structure being demolished shall be maintained in a stable and safe condition at all stages of the demolition work. Temporary bracing, shoring, bracing or guys, or any combination of these, shall be provided for stability, where necessary.
- 4.1.9 All plant and equipment used on the land shall be operated by a competent person. Cranes used for hoisting and lowering of materials shall comply with AS 1418.1 and AS 1418.5 and be fitted with a load indicator and hoist limited device.
- 4.1.10 At least one access and egress route shall be made available connecting any undemolished floor to an open space well clear of the structure being demolished. The egress route shall be clearly identified as an emergency exit and maintained clear of obstructions at all times.
- 4.1.11 A valid public liability insurance policy of at least \$10,000,000 shall be maintained throughout the demolition works.
- 4.1.12 Demolished materials, plant, equipment and the like shall not be stored or placed at any time on Council's footpath, roadway or any public place.
- 4.1.13 Should any excavation associated with the demolition works extend below the level of the base of the footings of a building on an adjoining allotment of land, including a public road or place, the person causing the excavation to be made:
- (a) must preserve and protect the building from damage, and
  - (b) if necessary, must underpin and support the building in an approved manner, and
  - (c) must, at least 7 days before excavating below the level of the base of the footings of a building on an adjoining allotment of land, give notice of intention to do so to the owner of the adjoining allotment of land and furnish particulars of the excavation to the owner of the building being erected or demolished.
- The owner of the adjoining allotment of land is not liable for any part of the cost of work carried out for the purposes of this condition, whether carried out on the allotment of land being excavated or on the adjoining allotment of land.
- 4.1.14 All previously connected services are to be appropriately disconnected as part of the demolition works. The applicant is obliged to consult with the various service authorities regarding their requirements for the disconnection of services.
- 4.1.15 The demolisher has an obligation to ensure that the adjoining buildings and property are not damaged.



## **4.2 Nuisance Control**

- 4.2.1 Any objectionable noise, dust, concussion, vibration or other emission from the demolition works shall not exceed the limit prescribed in the Protection of the Environment Operations Act 1997.
- 4.2.2 Any noise generated during demolition shall not exceed those limits specified in the Protection of the Environment Operations Act 1997 and shall be limited to between 7 am and 6 pm, Monday to Friday, and 8 am to 1 pm, Saturday, with no demolition work being undertaken on Sundays or public holidays.
- 4.2.3 The waste material sorting, storing and re-use requirements of the approved Waste Management Plan and Council's Site Waste Management and Minimisation Development Control Plan shall be implemented during the course of the demolition works.

## **4.3 Tree Protection**

- 4.3.1 The measures required to effectively protect trees on the land shall be maintained throughout the demolition works.

## **5 COMPLETION OF DEMOLITION WORKS**

### **5.1 Final Inspection**

- 5.1.1 A final inspection is required to ascertain compliance with the condition of approval prior to the release of the road damage deposit.

### **5.2 Hazardous Materials and Waste**

- 5.2.1 A clearance certificate/statement prepared in accordance with the National Code of Practice for the Safe Removal of Asbestos shall be issued by the competent demolition contractor who holds an appropriate Demolition Licence issued by the NSW WorkCover Authority under the provisions of the Work Health and Safety Act 2011 (and any relevant Regulation there under). The certificate/statement must state that the pre-existing building/s was/were demolished in accordance with the conditions and terms of that licence, Australian Standard 2601 - 2001 – The Demolition of Structures and that any asbestos removal has been carried out in accordance with NOHSC - 2002 – Code of Practice for Safe Removal of Asbestos. A copy of the clearance certificate/statement shall be lodged with Council.
- 5.2.2 Submit the receipt from the trade waste depot for disposal of the asbestos from the removal/demolition of the existing dwelling.

## **6 PRIOR TO CONSTRUCTION CERTIFICATE (GENERAL)**

### **6.1 DA Plan Consistency**

- 6.1.1 A Construction Certificate for the proposed development shall only be issued when the accompanying plans, specifications and/or details are consistent with the approved Development Application design plans.

## 6.2 Waste Requirements

- 6.2.1 The applicant is to provide a vertical cross section plan demonstrating a 4.5 m headroom allowance clear of eaves, overhangs, balconies and undercroft areas for the trucks entire travel path.
- 6.2.2 Access for collection vehicles must be designed in accordance with approved architectural plans, CAD files and vertical clearances as per Australian Standards.

## 6.3 State Environmental Planning Policy No. 65 – Design Quality of Residential Flat Development

- 6.3.1 No construction certification must be issued unless all design verifications have been provided in accordance with Clause 143A of the Environmental Planning and Assessment Regulation 2000, a certifying authority must not issue a construction certificate for residential flat development unless the certifying authority has received a design verification from a qualified designer, being a statement in which the qualified designer verifies that the plans and specifications achieve or improve the design quality of the development for which development consent was granted, having regard to the design quality principles set out in Part 2 of State Environmental Planning Policy No 65—Design Quality of Residential Flat Development.

## 6.4 Other Matters

- 6.4.1 A Construction Traffic Management Plan (CTMP) must be prepared for the development by a suitably qualified person prior to the release of the Construction Certificate. The CTMP must detail construction vehicle routes, number of trucks, hours of operation, access arrangements and traffic control methods.
- 6.4.2 A dilapidation report shall be carried out for any of the potentially affected existing buildings surrounding the proposed development. A copy of the report shall be submitted to Council prior to construction commencing.

## 6.5 Salinity and Aggressive Soil Management

- 6.5.1 A Salinity Assessment, including the preparation of a Salinity Management Plan is to be undertaken by a suitably qualified person and any recommendations are to be identified on the construction certificate plans for each stage.

## 6.6 Geotechnical Investigation

- 6.6.1 The recommendations provided in the Geotechnical Investigation – 10 - 14 THIRD AVENUE, BLACKTOWN NSW, prepared by Asset JK Geotechnics Pty Ltd, report no. 29539Vrpt Blacktown, dated 2 August 2016 shall be implemented, particularly in regard to Section 4 of the report. Upon completion of inspections/assessments an appropriately qualified environmental consultant shall prepare a validation report.

## 6.7 Site Contamination

- 6.7.1 Prior to the release of any construction certificate on the site an EPA recognised geoscientist is to certify the site as suitable for residential development in accordance with the strict residential use criteria as set out in the National Environment Protection (Assessment of Site Contamination) Measure (NEPM) 1999 as amended 2013.
- 6.7.2 The recommendations provided in the CONTAMINATION SCREENING & SALINITY ASSESSMENT, PROPOSED MIXED-USE DEVELOPMENT, 10 - 14 THIRD AVENUE, BLACKTOWN, prepared by Environmental Investigation Services Pty Ltd, Report No. E29539Klet, dated 28 July 2016 are to be met.
- 6.7.3 All areas potentially/contaminated shall be remediated. Upon completion of remediation an appropriately qualified environmental consultant shall prepare a validation report. The validation report shall be carried out in accordance with;
- NSW Environment Protection Authority's Guidelines for Consultants Reporting on Contaminated Sites (1997)
  - NSW Environment Protection Authority's Contaminated Sites Sampling Design Guidelines (1995).
  - Australian and New Zealand Environment and Conservation Council and National Health and Medical Research Council's Australian and New Zealand Guidelines for the Assessment and Management of Contaminated Sites (1992).

## 6.8 Food Premises

Plans and specifications must be submitted that shows the childcare centre kitchen complies with the requirements of;

- Food Act 2003 and Regulations there under.
- Australian Standard 4674 - 2004 *Design, construction and fit-out of food premises*.

## 6.9 Acoustic Measures

- 6.9.1 The recommendations provided in the Acoustic Report for the Development Application, prepared by Sebastian Giglio, Report No. 2785/D02, dated 9 December 2016 shall be implemented.
- 6.9.2 In accordance with Section 68 of the Local Government Act 1993 an 'Application for Approval to Install, Construct or Alter a Septic Tank or Sewage Management System' shall be submitted to Council for consideration. Approval must be obtained prior to construction work commencing
- A qualified acoustic engineer must certify that the buildings have been designed to minimise the noise intrusion from any external noise source and when constructed the building shall satisfy the following criteria with windows and doors closed:



Internal Space	Time Period	Criteria $L_{Aeq}$ (period)
Living Areas	Any time	40 dB(A)
Sleeping Areas	Day (7 am – 10 pm)	40 dB(A)
	Night (10 pm – 7 am)	35 B(A)

- A certificate must be provided by a qualified acoustic engineer stating that provision has been made in the design of all sound producing plant, equipment, machinery, mechanical ventilation system or refrigeration systems to ensure that it is acoustically attenuated so that the noise emitted:
  - (a) does not exceed an  $L_{Aeq}$  sound pressure level of 5dB (A) above the ambient background noise level when measured
    - at the most effected point on or within any residential property boundary or
    - at the external edge of any sole occupancy unit balcony within the premises itself at any time the plant or equipment operates.
  - (b) cannot be heard within a habitable room in any sole occupancy unit or other residential premises (regardless of whether any door or window to that room is open) between the hours of 10 pm and 7 am.

The method of measurement of sound must be carried out in accordance with Australian Standard 1055.1.

## 6.10 Street Tree Planting

- 6.10.1 If the applicant wishes to undertake the planting and maintenance of the street trees to Council's satisfaction at no cost to Council (making any necessary applications with Council or obtaining any necessary clearances from relevant service authorities), the applicant is, subject to any alternative arrangements satisfactory to the Council, to lodge a tree bond of \$300 per tree and \$120 inspection fee to ensure the health and vigour of the trees. Council will return the bond 12 months after the issue of a final Occupation certificate is the trees are in a state of good health and vigour to Council's satisfaction.

On this basis the following bond is applicable:

- 4 street trees @ \$310 per tree = \$1,240 (refundable)
- inspection fee @ \$130 = \$130 (non-refundable)

- 6.10.2 The pavement treatment adjacent to the street trees is to be as follows:

- 100 mm unreinforced concrete slab
- 30 mm bedding sand
- paving units
- pavers supplied by 'Sam the Paving Man'. The main paving colour is to be 'Basalt Black' and the banding is to be 'Sesame Grey'.

## 6.11 Awnings

6.11.1 Details of the proposed awnings over Council's road reserve, including colour samples of the materials / finishes from brochures or the like are to be submitted for the separate approval of Council's Maintenance Engineers. The height and width of the proposed footpath awning is to comply with the following requirements:

- (a) The general provisions applicable to awnings under the Local Approvals Policy 2015 Parts A, E, E1 and E2.
- (b) It must not cover, obstruct or interfere with facilities essential to the function or occupation of any building (e.g. ventilation ducts/openings and architectural features).
- (c) Must have a minimum horizontal distance of 600 mm from the road kerb/shoulder.
- (d) Must have a minimum height of 3.2 m to the underside of the awning (i.e. measured above the adjacent finished / proposed footway level).
- (e) Must have a maximum height of 5 m to the upper side of the awning (excluding the overhead support components).

6.11.2 Under awning lighting is to be provided to enhance pedestrian amenity and safety.

6.11.3 Certification is to be provided by a NPER engineer as to the structural integrity of the awning and compliance with the BCA and other relevant standards.

## 6.12 Letterboxes

6.12.1 The letterboxes should be illuminated, tamper-proof and provided in a prominent location so as to minimise vandal attacks. Each box should be appropriately numbered and provided with a key lock. Street numbers should also be displayed to ensure the site is easily identified.

## 6.13 Lighting

6.13.1 A detailed lighting plan is to be prepared by a suitably qualified person. The plan is to provide the following:

- (a) The location, method of lighting, levels of illumination, and the spacing between all lighting. The lighting is to be designed in accordance with Australian/New Zealand lighting standards for public space, pedestrian walkways and basement carpark areas.
- (b) Lighting that is 'vandal proof'. In this regard, all lighting must be protected by way of vandal proof metal guards to ensure globes/tubes are not broken and that any potential 'dark-spots' are eliminated. Where possible, lighting should be positioned at a height to deter vandal attacks.
- (c) Appropriate vandal proof security lighting to ensure the basement carparks, vehicle and building entry points, business/retail areas, stairwells, walkways and public/communal areas, residential entry/exit points, lift areas, foyers, garbage disposal areas are a safe environment for all occupants and users of the site. Where appropriate sensor/motion activated and 24 hour timer

activated lighting is to be provided to ensure all external public areas are well illuminated, to deter vandal and nuisance activity, eliminate areas of concealment, and provide better safety at night. In this regard, motion-activated lighting and strategically positioned CCTV cameras should also be provided.

- (d) Vandal proof lighting that ensures the effective operation of the CCTV system. In this regard, lighting levels are to be enhanced around all CCTV cameras (e.g. around lift entries, basement car parks and building entries) to enable face recognition when CCTV cameras are in use.
- (e) All external lighting must be within the recommended lux rating of the Australian Standard to reduce glare on residential neighbours and occupants of the development. To ensure all lighting is satisfactory, a light spillage diagram will need to be submitted together with the lighting details.

#### 6.14 **Construction Environmental Management Plan**

- 6.14.1 Prior to the release of a Construction Certificate, an appropriately qualified person is to prepare a comprehensive Environmental Management Plan (EMP). The EMP is to be submitted to Council for separate approval.

The operational measures at a minimum should include the following:

- (a) Proposed schedule of works
- (b) Proposed hours of work
- (c) Noise and vibration controls
- (d) Salinity Management Plan
- (e) Erosion and Sedimentation Control Plan
- (f) Hazardous building materials survey
- (g) Procedures for validation of imported fill material and the proposed means of disposing overburden
- (h) Waste and materials re-use on-site
- (i) Community response and management procedure outlining the course of action to be undertaken following receipt of a complaint
- (j) Proposed means of controlling of any activity that could potentially cause a pollution incident as defined by the Protection of the Environmental Operations Act 1997.
- (k) Dust (air quality) management strategy noting that any stockpiled soil is to be stored on plastic sheeting in an area that is securely bunded with a silt fence and hay bales to prevent surface-water run-off. Plastic sheeting must be placed over the stockpile to minimise wind-blown dust.

- 6.14.2 Any asbestos material is to be handled and treated in accordance with the WorkCover document '*Your Guide to Working With Asbestos - Safety guidelines and requirements for work involving asbestos*' dated March 2008.



## 7 PRIOR TO CONSTRUCTION CERTIFICATE (PLANNING)

### 7.1 Section 94 Contributions

- 7.1.1 The following monetary contributions pursuant to Section 94 of the Environmental Planning & Assessment Act 1979 must be paid. The amounts below are as at the date of this consent. They WILL BE INDEXED from the date of this consent to the date of payment. Payment of the indexed amounts must be made prior to the issue of a Subdivision Certificate.

PLEASE NOTE: Indexed payments must be made by BANK CHEQUE IF IMMEDIATE CLEARANCE IS REQUIRED. Payments of the full amount by credit card or EFTPOS are accepted up to \$10,000 only. Any payments above \$10,000 must be made by cheque. Payments above \$10,000 cannot be split between different credit or EFTPOS cards.

Contribution item	Amount	Relevant CP
i. Flood Mitigation	\$5,321	19
ii. Stormwater Quality	\$21,022	19
iii. Traffic Management – Medium to High Density	\$223,981	19
iv. Traffic Management – All residential development	\$313,375	19
v. Open Space – Medium to High Density	\$1,083,619	19
vi. Open Space – All residential development	\$300,181	19
vii. Community Facilities	\$78,509	19
viii. Local Road Construction	\$127,382	19
ix. Streetscape Facilities	\$96,762	19
x. Traffic Management – Childcare Centre Development	\$245,574	19
xi. Traffic Management – Commercial/Retail Development	\$216,658	19
<b>CONTRIBUTION TOTAL AMOUNT</b>	<b>\$2,712,384</b>	<b>19</b>

The contributions will be indexed according to the Australia Bureau of Statistics' Consumer Price Index (Sydney Housing) or Consumer Price Index (All Groups Sydney).

Copies of the following relevant Contributions Plan may be inspected/purchased from Council's Information Centre, or viewed/downloaded at [www.blacktown.nsw.gov.au](http://www.blacktown.nsw.gov.au):

## Section 94 CP No. 19 – Blacktown Growth Precinct

The Section 94 Contributions have been based on the potential additional population nominated below. Should the final plan of survey indicate any change to the potential additional population, the Section 94 Contributions will be adjusted accordingly.

Developable area: 2,380 sqm  
Childcare centre area: 2,036.33 sqm  
Commercial/Retail area: 609 sqm  
Number of Residential Units: 143 dwellings  
Additional Population: 312.4 persons  
Road Frontage: 54 m

### 7.2 Necessary Plan Amendments

7.2.1 The following additional information is required to be submitted for Council's separate approval prior to the issue of any Construction Certificate for the approved development:

- (a) Details of the proposed awning over Council's road reserve, including colour samples of the materials/finishes from brochures or the like. Note: The height and width of the proposed footpath awning is to comply with the requirements of Council's Maintenance Engineers.

### 7.3 Building Materials and Finishes

- 7.3.1 The development is to be constructed in accordance with the approved materials, finishes and colours submitted as part of the approved colours and finishes schedule.
- 7.3.2 The certifier is to be satisfied that the materials for use on the external walls of this development achieve compliance with the relevant fire resistance levels that are applicable to the development. This includes compliance with the Building Code of Australia.
- 7.3.3 The reflectivity index of glass used in the external facades of the buildings is not to exceed 20%, must not affect road traffic and must not cause discomfort through glare or intense heat to surrounding areas.
- 7.3.4 All bathrooms, WC or laundry windows in the external walls and the building shall be fitted with translucent glazing.

### 7.4 Communal Open Space and Landscaping

- 7.4.1 A detailed landscape plan is to be submitted which reflects the concept landscape plan and it is to include details for tree and landscape species.
- 7.4.2 All landscaping, recreation features and furniture, BBQ facilities, children's play equipment and clothes drying facilities shall be of a high quality and detailed on the approved landscaping design plans.

## 7.5 Access/Parking

- 7.5.1 The internal driveway and parking areas are to be designed in accordance with Australian Standard 2890.1.

The loading facility must be designed so that trucks do not interfere with resident's vehicles during loading/unloading operations.

- 7.5.2 The layout of the car parking areas (including driveways, grades, turn paths, sight distance requirements, aisle widths, aisle lengths and parking dimensions) should be in accordance with AS2890.1 - 2004 and AS2890.6 - 2009. Heavy vehicle access must comply with Australian Standard AS2890.2 in terms of dimensions, grade, sight distance, driveway width, ramp grade and manoeuvrability requirements for commercial vehicles as proposed to access the site.

- 7.5.3 A total of 230 parking spaces are to be provided on site being:

- 164 spaces for residential uses,
- 16 for retail/commercial uses, and
- 50 spaces for the child care centre.

Suitable bicycle parking must also be provided as indicated on the approved plans.

- 7.5.4 Access to and parking for persons with disabilities shall be designed in accordance with Australian Standard 2890.6 – 2009.

- 7.5.5 Any proposed fence/Side boundary fence/landscape element on either side next to the proposed driveways must not exceed 900 mm in height for a length of 2.5 m from the property boundary within the property and 2.0 m along the property boundary (see Figure 3.3 AS 2890.1) to ensure safety of pedestrians on footpath.

- 7.5.6 Customers and visitors to the site must not be capable of accessing any private residential area from the basement carpark.

- 7.5.7 A roller shutter and card-key system is to be installed at the segregation point between the retail/business/visitor spaces and the secure residential parking spaces. An additional roller door is to be installed at the entry/exit point of the basement carpark to restrict after-hour access to the basement carpark. Any non-resident/customer wishing to gain access to the carpark outside normal business hours will therefore need to contact an on-site building manager. All details are to be shown on the Construction Certificate plans.

## 7.6 Adaptable Housing Units

- 7.6.1 A minimum of 10% of the units within each residential flat building are to be designed in accordance with the Australian Adaptable Housing Code (AS 4299-1995) which includes 'pre-adaptation' design details to ensure visitability is achieved.



## **8 PRIOR TO CONSTRUCTION CERTIFICATE (BUILDING)**

### **8.1 Building Code of Australia Compliance**

8.1.1 All aspects of the building design shall comply with the applicable performance requirements of the Building Code of Australia so as to achieve and maintain acceptable standards of structural sufficiency, safety (including fire safety), health and amenity for the ongoing benefit of the community. Compliance with the performance requirements can only be achieved by:

- (a) Complying with the deemed to satisfy provisions, or
- (b) Formulating an alternative solution which:
  - i complies with the performance requirements, or
  - ii is shown to be at least equivalent to the deemed to satisfy provision, or
  - iii A combination of (a) and (b).

8.1.2 A preliminary assessment of the plans submitted with the application has disclosed that the following design and/or construction issues need to be addressed prior to the issue of any Construction Certificate to ensure compliance with the Building Code of Australia:

- (a) Part C
- (b) Part D
- (c) Part E
- (d) Part F
- (e) Part J

### **8.2 Site Works and Drainage**

8.2.1 Any required retaining wall(s) and/or other effective method to retain excavated or filled ground (not being Exempt Development under the Blacktown Local Environmental Plan), together with any associated groundwater drainage system, shall be designed by an appropriately qualified person. Details of such site works shall accompany the Construction Certificate.

8.2.2 Stormwater drainage from the site shall be designed to satisfactorily drain rainfall intensities of 159mm per hour over an average recurrence interval of 20 years. The design shall:

- (a) be in accordance with Australian Standard 3500.3, and
- (b) provide for drainage discharge to an existing Council drainage system, and
- (c) ensure that the development, either during construction or upon completion, does not impede or divert natural surface water runoff so as to cause a nuisance to adjoining properties.

8.2.3 Soil erosion and sediment control measures shall be designed in accordance with Council's Soil Erosion and Sediment Control Policy. Details shall accompany any Construction Certificate.

8.2.4 Should any proposed excavation associated with the development extend below the level of the base of the footings of a building or any other structure on any adjoining allotment of land (including a public place), separate details prepared by a suitably qualified person shall be prepared indicating how that building or structure is to be:

- (a) Preserved and protected from damage, and
- (b) Underpinned and supported.

Such details shall accompany the Construction Certificate.

### 8.3 Fire Services

8.3.1 Where any external on-site fire hydrant or hydrant booster assembly is to be located within any building setback from a boundary, the hydrant or booster assembly shall be located or protected in accordance with the requirements of AS 2419.1.

8.3.2 Where any external on-site water storage tank is required by AS 2118.1 or AS 2419.1, details of the location and type of any proposed tank are to be submitted to and approved by Council prior to the issue of the relevant Construction Certificate.

### 8.4 Internal Works

8.4.1 A separate application for development consent shall be lodged with Council for any proposed fit out of a commercial and industrial building (which includes any fixed internal partition wall/display/storage racking/machinery/equipment and the like) that was not approved by this Notice of Determination. This condition does not apply to work or development that is Exempt Development or Complying Development under the Blacktown Local Environmental Plan.

### 8.5 BASIX Certificate Compliance

The plans and specifications must indicate compliance with the commitments listed in BASIX Certificate 751885M dated 31 August 2016

## 9 PRIOR TO CONSTRUCTION CERTIFICATE (ENGINEERING)

### 9.1 General

9.1.1 All relevant conditions within the 'Prior to Construction Certificate' section of this consent shall be satisfied before any Construction Certificate can be issued.

9.1.2 All fees for Construction, *Roads Act 1993* and *Local Government Act 1993* approvals must be paid to Council prior to the issue of any of the above certificates or approvals. All fees for Compliance Certificates must be paid to Council prior to any construction certificate works commencing.

9.1.3 Construction certificate plans shall be generally in accordance with the following drawings:

Prepared By	Project No.	Drawing No.	Sheet No.	Revision	Dated
Algorry Zappia & Associates	P 4474	-	D01	B	20.01.2017
			D02		
			D03		
			D04		
			D05		
			D06		
			D07		
			D08		
			D09		
			D09A	A	
			D10	B	
			D11	A	01.09.2016
			D12	B	20.01.2017
			D13		
			D14	A	01.09.2016
			D15		
			D16		

The following items are required to be addressed on the Construction Certificate plans:

- i. For record purpose amend draining D12 to reflect a Revision B date 20.01.2016.
- ii. A detailed stormwater drainage long-section for any portion of the drainage system located outside of Lot 100 DP 1002564 clearly illustrating any proposed or existing service, utility, street tree or other possible obstruction.
- iii. Amend drawing D06 to reflect the installation of a 375 RC pipe for any portion of the drainage system located outside of Lot 100 DP 1002564 in accordance with Council's Engineering Guide.

#### DRAINAGE SECTION REQUIREMENTS

- iv. On Drawing No. D12 (B), the High Early Discharge (HED) pit is over 1,200 mm deep and must have a minimum internal opening of 1,200 mm x 1,200 mm.
- v. On Drawing No. D12 (B), provide a 1,200 mm x 1,200 mm access to the rainwater tank to facilitate maintenance access on the pumps.
- vi. On Drawing No. D13 (B), the level of underside of rainwater chamber top cover is RL61.20 on Section C-C, which is same as the tail water level.



This shows that there is no clearance between the underside of the rainwater chamber cover and the OSD tail water level. Provide a non-return flap on the 300 mm overflow pipe.

## 9.2 Construction Certificate Requirements

9.2.1 Under the *Environmental Planning and Assessment Act 1979* a Construction Certificate for engineering work is required. These works include but are not limited to the following:

- On-site stormwater detention
- Water quality treatment
- Earthworks

The above requirements are further outlined in this section of the consent.

## 9.3 Roads Act Requirements

9.3.1 Under *Section 138 of the Roads Act 1993* an approval for engineering work is required. These works include but are not limited to the following:

- Any works within Council's road reserve
- Kerb inlet pit connections or construction
- Vehicular crossings

The above requirements are further outlined in this section of the consent.

## 9.4 Other Engineering Requirements

9.4.1 Submit a detailed estimate of costs for the engineering works. If this detailed estimate is \$25,000 or greater then a long service levy payment is required. Provide proof of this payment to Council.

9.4.2 Any ancillary works undertaken shall be at no cost to Council.

9.4.3 Submit written evidence from the Roads and Maritime Services indicating compliance with all necessary requirements.

9.4.4 Submit a Public Utilities Plan demonstrating adequate clearance between services to stormwater pits, pipes, driveways, light poles, etc.

## 9.5 Roads

9.5.1 Replace the redundant layback and footway crossing with Council's standard kerb and gutter. The footway area shall be restored with turf in accordance with Council's specifications.

## 9.6 Drainage

9.6.1 Drainage from the site shall be connected into Council's existing drainage system. In this regard it is required to connect the drainage pipe into an existing Council kerb inlet pit in Third Avenue, Blacktown.

9.6.2 Any overland or stormwater flows must be intercepted at the property boundary, conveyed through the site in a piped or channelled drainage system and discharged in a satisfactory manner.

9.6.3 An experienced Drainage Engineer registered with NER and supported by a DRAINS or similar electronic hydraulic drainage model is to certify that the internal drainage system is capable of carrying the 20 year ARI flows without surcharge at any pits.

## 9.7 Erosion and Sediment Control

9.7.1 Provide a sediment and erosion control plan in accordance with Council's Soil Erosion and Sediment Control Policy and Engineering Guide for Development.

## 9.8 Earthworks

9.8.1 Finished levels of all internal works at the road boundary of the property must be 4% above the top of kerb.

## 9.9 On-Site Detention

9.9.1 Provide an on-site detention system in accordance with Council's Engineering Guide for Development.

9.9.2 The development site is within the following catchment and on-site detention system shall be designed to achieve the following:

Catchment	Site Storage Requirement (100%)	Permissible Site Discharge (100%)
All Other Hawkesbury Sub-Catchments – Area #4	264	147

9.9.3 The engineering drawings approved under this consent are not to be used for construction. The Construction Certificate drawings shall be generally in accordance with the approved drawings however any significant variation to the on-site detention design shall require a Section 96 application.

9.9.4 Submit the following certificates which are to be prepared by a registered engineer (NER):

- Certification that the structures associated with the on-site stormwater detention system have been designed to withstand all loads likely to be imposed on them during their lifetime.
- Certification that the on-site stormwater detention system will perform to meet the on-site stormwater detention requirements.

9.9.5 The following documents shall be submitted to accompany the on-site detention design in accordance with the design and construction specification:

- Comprehensive drainage drawings with cross-sectional details of the storage area, pit numbers, pipe sizes, catchment plan, etc.
- OSD detailed design submission and calculation summary sheet
- A maintenance schedule that is signed and dated by the designer.

#### **9.10 Stormwater Quality Control**

- 9.10.1 Provide a stormwater quality treatment system in accordance with Council's Engineering Guide for Development and Development Control Plan Part J – Water Sensitive Urban Design and Integrated Water Cycle Management.
- 9.10.2 The engineering drawings approved under this consent are not to be used for construction. The Construction Certificate shall be generally in accordance with the approved DA plans however any significant variation to the water quality treatment design shall require a Section 96 application.
- 9.10.3 Provide a maintenance schedule for the stormwater quality device that is signed and dated by the designer.

#### **9.11 Vehicular Crossings**

- 9.11.1 Construct a commercial and industrial vehicular crossing to Council's standard A(BS)103S.

#### **9.12 Other Drainage Section Requirements**

- 9.12.1 In the Stormwater Management Report Section 4.3 – Water Conservation and Gross Pollutant targets, amend the irrigable area as 439 sqm and the annual demand as 132 kL/year.
- 9.12.2 An experienced hydraulic engineer is to prepare and certify a detailed Non-Potable Water Reuse Plan for non-potable water uses (including all toilet flushing and landscape watering) for all the commercial uses and the childcare centre on the site. The plan is to show the rainwater pipe arrangement including first flush or pre-treatment system, pump, mains water direct tank top up, isolation valves, flow meters for all mains water inflows or solenoid controlled mains water bypass and non-potable usage outflows, a timer for landscape watering, an inline automatic backwash filter and certify that all Sydney Water requirements have been satisfied. A solenoid controlled mains water bypass is required for toilet flushing, but landscape watering must only use pump water and be on a separate reuse line, independent to the toilets. Provide a warning light to indicate pump failure. The Landscape Watering system is to be designed to automatically achieve a minimum usage rate of 132 kL/year for the 60 kL tank as per the Stormwater Management Plan. This is the average usage throughout the year and the system needs to be adjusted to allow for monthly seasonal variations e.g the flow rate in December/ February is to be designed to allow for a 50% increase above the average yearly flow. All rainwater re-use pipes are to be coloured purple. Rainwater warning signs are to be fitted to all external taps where rainwater is used as a source.



- 9.12.3 Details are to be provided for permanent interpretive signage minimum A2 size to be installed to highlight the water quality improvement process. The sign is to incorporate a simplified drainage layout of the site and detail through words and pictures all the different water quality devices including the rainwater tank and explain the benefit to the site and community. The sign is to be supported by a steel post or on a wall and is to be located adjacent to the major water quality device. The wording and detail is to be approved by Council.
- 9.12.4 Amended architectural plans are required for buildings, or parts of buildings, that are not affected by BASIX, to demonstrate compliance with the minimum standards defined by the Water Efficiency Labelling and Standards (WELS) Scheme for any water use fittings. Minimum WELS ratings are:
- i. 4 star dual-flush toilets
  - ii. 3 star showerheads
  - iii. 4 star taps (for all taps other than bath outlets and garden taps)
  - iv. 3 star urinals
  - v. Water efficient washing machines and dishwashers are to be specified.
- 9.12.5 Due to the cut and/or fill exceeding 1.5 m, a desktop Groundwater Assessment Report is required for the site in accordance with Section 4.6 of DCP 2015 Part J. Where there is the potential for interaction with groundwater, a Groundwater Management Plan must be prepared by a Geotechnical Engineer registered with NER.
- 9.13 **Services/Utilities**
- 9.13.1 The following documentary evidence shall accompany any Construction Certificate:
- (a) A 'Notification of Arrangement' Certificate from energy provider, or any other recognised energy provider, stating that arrangements have been made for the provision of electrical services, including the provision of street lighting, have been made available to the development.

## 10 PRIOR TO DEVELOPMENT WORKS

### 10.1 Safety/Health/Amenity

- 10.1.1 Toilet facilities shall be provided on the land at the rate of 1 toilet for every 20 persons or part thereof employed at the site.

Each toilet provided shall be:

- (a) a standard flushing toilet, or
- (b) a temporary on-site toilet which is regularly maintained and the waste disposed to an approved sewerage management facility.

10.1.2 A sign is to be erected and maintained in a prominent position on the site in accordance with Clause 98 A (2) of the Environmental Planning and Assessment Regulations 2000 indicating:

- (a) the name, address and telephone number of the principal certifying authority for the work, and
- (b) the name of the principal contractor (if any) for the building work and a telephone number on which that person may be contacted outside working hours, and
- (c) stating that unauthorised entry to the work site is prohibited.

This condition does not apply to:

- (a) building work carried out inside an existing building, or
- (b) building work carried out on premises that are to be occupied continuously (both during and outside working hours) while the work is being carried out.

10.1.3 Should the development work:

- (a) be likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or
- (b) involve the enclosure of a public place,

a hoarding or protective barrier shall be erected between the work site and the public place. Such hoarding or barrier shall be designed and erected in accordance with Council's current Local Approvals Policy under the Local Government Act 1993.

Where necessary, an awning shall be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place.

The hoarding, awning or protective barrier shall be effectively illuminated between sunset and sunrise where it may be hazardous to any person in the public place.

10.1.4 Soil erosion and sediment control measures shall be provided in accordance with Council's Soil Erosion and Sediment Control Policy.

10.1.5 A single vehicle/plant access to the land shall be provided to minimise ground disturbance and transport of soil onto any public place. Such access shall be provided in accordance with the requirements of Appendix 'F' of Council's Soil Erosion and Sediment Control Policy. Single sized 40 mm or larger aggregate placed 150 mm deep, and extending from the street kerb/road shoulder to the land shall be provided as a minimum.

10.1.6 All soil erosion and sedimentation control measures indicated in the documentation accompanying the Construction Certificate shall be installed prior to the commencement of development works.

- 10.1.7 Any excavation and/or backfilling associated with the development shall be executed safely and in accordance with appropriate professional standards, with any excavation properly guarded and protected to prevent such work being dangerous to life or property.
- 10.1.8 Should any excavation associated with the development extend below the level of the base of the footings of a building or any other structure on any adjoining allotment of land (including a public place), that building or structure:
- (a) shall be preserved and protected from damage, and
  - (b) if necessary, shall be underpinned and supported in accordance with structural design details accompanying the Construction Certificate, and
  - (c) the owner(s) of which shall, at least 7 days before any such excavation or supporting work commences, be given notice of such intention and particulars of the excavation or supporting work.

## 10.2 Notification to Council

- 10.2.1 The person having the benefit of this consent shall, at least 2 days prior to work commencing on site, submit to Council a notice under Clauses 135 and 136 of the Environmental Planning and Assessment Regulation 2000, indicating details of the appointed Principal Certifying Authority and the date construction work is proposed to commence.

## 10.3 Home Building Act

- 10.3.1 The construction of *residential building work* within the meaning of the *Home Building Act 1989* must not be carried out unless the principal certifying authority for the development to which the work relates (not being the council) has given the council written notice of the following information:
- (a) in the case of work for which a principal contractor is required to be appointed:
    - i the name and licence number of the principal contractor, and
    - ii the NSW Home Building Compensation Fund 'Statement of Cover' under Part 6 of that Act,
  - (b) in the case of work to be done by an owner-builder:
    - i the name of the owner-builder, and
    - ii if the owner-builder is required to hold an owner-builder permit under Part 3 of the Act, the number of the owner-builder permit.



#### **10.4 Sydney Water Authorisation**

- 10.4.1 Sydney Water Corporation's approval, in the form of appropriately stamped Construction Certificate plans, shall be obtained and furnished to the Principal Certifying Authority to verify that the development meets the Corporation's requirements concerning the relationship of the development to any water mains, sewers or stormwater channels.

OR

The approved plans are to be submitted to a Sydney Water Customer Centre or Quick Check Agent, to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements and if further requirements need to be met. The plans must be appropriately stamped and all amended plans will require restamping. For Quick Check Agent details, please refer to the 'Building Plumbing and Developing' Section of the website [www.sydneywater.com.au](http://www.sydneywater.com.au), then follow the 'Developing Your Land' link or telephone 13 20 92 for assistance.

#### **10.5 Use of Crane**

- 10.5.1 Any crane used in the construction of this development must have approval under the Roads Act 1993 from Council to swing over public air spaces.
- 10.5.2 The crane used must be provided with a light in accordance with the requirements of the Civil Aviation Authority (CASA) requirement. This may require a separate approval from CASA.

### **11 DURING CONSTRUCTION (BUILDING)**

#### **11.1 Safety/Health/Amenity**

- 11.1.1 The required toilet facilities shall be maintained on the land at the rate of 1 toilet for every 20 persons or part of 20 persons employed at the site.
- 11.1.2 A sign is to be erected and maintained in a prominent position on the site in accordance with Clause 98 A (2) of the Environmental Planning and Assessment Regulations 2000 indicating:
- (a) the name, address and telephone number of the principal certifying authority for the work, and
  - (b) the name of the principal contractor (if any) for the building work and a telephone number on which that person may be contacted outside working hours, and
  - (c) stating that unauthorised entry to the work site is prohibited.
- 11.1.3 Should the development work:
- (a) be likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or
  - (b) involves the enclosure of a public place,

the required hoarding, awning or protective barrier shall be maintained between the land and the public place.

The hoarding, awning or protective barrier shall be effectively illuminated between sunset and sunrise where it may be hazardous to persons in the public place.

- 11.1.4 Soil erosion and sediment control measures (including the connection of roofwater downpipes to stormwater drainage lines upon fixing of roof covering) shall be maintained during the development works.
- 11.1.5 All measures specified in the Construction Certificate to control soil erosion and sedimentation shall be maintained throughout development works.
- 11.1.6 A single vehicle/plant access to the land shall be maintained to minimise ground disturbance and transport of soil onto any public place. Such access shall be maintained in accordance with the requirements of Appendix 'F' of Council's Soil Erosion and Sediment Control Policy. As a minimum, single sized 40 mm or larger aggregate placed 150 mm deep, and extending from the street kerb/road shoulder to the land shall be provided.
- 11.1.7 Any excavation and/or backfilling associated with the ongoing development works shall be executed safely and in accordance with appropriate professional standards, with any excavation properly guarded and protected to prevent them from being dangerous to life or property.
- 11.1.8 Should any excavation associated with the ongoing development works extend below the level of the base of the footings of a building or any other structure on any adjoining allotment of land (including a public place), that building or structure:
  - (a) shall be preserved and protected from damage, and
  - (b) if necessary, shall be underpinned and supported in accordance with structural design details accompanying the Construction Certificate, and
  - (c) the owner(s) of which shall, at least 7 days before any such excavation or supporting works be given notice of such intention and particulars of the excavation or supporting works.
- 11.1.9 Building and construction materials, plant, equipment and the like shall not to be placed or stored at any time on Council's footpath, roadway or any public place.

## 11.2 **Building Code of Australia Compliance**

- 11.2.1 All building work shall be carried out in accordance with the provisions of the Building Code of Australia.

## 11.3 **Surveys**

- 11.3.1 The building(s) shall be set out by a registered surveyor and a survey report lodged with the Principal Certifying Authority to verify the approved position of each structure in relation to the property boundaries.

- 11.3.2 A registered surveyor's report confirming the approved design ground and/or floor levels shall be lodged with the Principal Certifying Authority prior to work proceeding above floor level.

#### 11.4 Nuisance Control

- 11.4.1 Any objectionable noise, dust, concussion, vibration or other emission from the development works shall not exceed the limit prescribed in the Protection of the Environment Operations Act 1997.
- 11.4.2 The hours of any offensive noise-generating development works shall be limited to between 7 am to 6 pm, Mondays to Fridays, 8 am to 1 pm, Saturdays and no such work to be undertaken at any time on Sundays or public holidays.

#### 11.5 Waste Control

- 11.5.1 The waste material sorting, storage and re-use requirements of the approved Waste Management Plan and Council's Site Waste Management and Minimisation Development Control Plan shall be implemented during the course of development works.

#### 11.6 Construction Inspections

- 11.6.1 The person having the benefit of this consent is required to notify the Principal Contractor for the building construction project that various mandatory and critical stage inspections must be conducted by an accredited certifier, and may include inspections (where applicable):
- (a) After excavation for, and prior to placement of, any footings; and
  - (b) Prior to pouring any in-situ reinforced concrete building element; and
  - (c) Prior to the covering of the framework for any floor, wall roof or other building element, and prior to covering waterproofing in any wet areas; and
  - (d) Prior to covering waterproofing in any wet areas (but for a minimum of 10% of rooms with wet areas in any class 2, 3 or 4 building); and
  - (e) Prior to covering any stormwater drainage connections; and
  - (f) After the building work has been completed and prior to any Occupation Certificate being issued in relation to the building.

The critical stage inspection '(f)' must be carried out by the Principal Certifying Authority.

Any inspection conducted by an accredited other than the nominated PCA for the project must be verified by way of a Compliance Certificate issued for the relevant works.

Note: Failure to ensure the relevant inspections are conducted will preclude the issue of an Occupation Certificate.



## 11.7 Site Contamination

- 11.7.1 Should any contaminated material be unearthed or fly-tipped rubbish be encountered during construction, all works are to cease immediately. In this situation, an amended Remediation Action Plan (RAP) is to be submitted to Council's Manager, Development Assessment for further consideration and all potentially contaminated material is to be tested, removed or undergo remediation. In this regard, the environmental consultant engaged for this project is to be on site for regular monitoring of the approved site works.
- 11.7.2 Throughout the duration of the works, the applicant is to demonstrate compliance with the following approval parameters:
- (a) The applicant is to ensure that validation for the entire subject site can be prepared by a certified contaminated land consultant recognised by the EPA in accordance with Council's Contamination Land Policy and NEPM 2013.
  - (b) The applicant is to ensure that the site has been satisfactorily secured so as to prevent any unauthorised dumping of illegal fill/waste building materials (i.e. non-V.E.N.M soils) from entering onto the development site.
  - (c) Appropriate dust suppression measures are to be incorporated into the site works process, so as to ensure that adjoining properties in the local vicinity are not negatively impacted upon by dust generated from the development site.
  - (d) Any filling shall be undertaken in accordance with the fill protocol approved by Council's Manager, Development Assessment.

Should Council receive any complaints regarding non-compliance with any of the above matters or other such operational type matters, then Council will have no alternative but to fully investigate the complaint and pursue an appropriate course of action.

## 11.8 Aboriginal Archaeology

- 11.8.1 If, during the course of construction, the applicant or persons acting on this consent become aware of any previously unidentified Aboriginal object(s), all work likely to affect the object(s) shall cease immediately and the NSW Office of Environment & Heritage informed in accordance with Section 89A of the *National Parks and Wildlife Act 1974*. Relevant works shall not recommence until written authorisation from the NSW Office of Environment & Heritage is received by the Applicant. In addition, a member of each of the Western Sydney Aboriginal Stakeholder Groups is to be contacted.

## 11.9 Salinity and Aggressive Soil Management

- 11.9.1 All salinity management measures provided in the report prepared at the construction certificate stage shall be implemented during construction.

## **12 DURING CONSTRUCTION (ENVIRONMENTAL HEALTH)**

### **12.1 Premises Construction**

- 12.1.1 Any asbestos material is to be handled and treated in accordance with the WorkCover document '*Your Guide to Working With Asbestos - Safety guidelines and requirements for work involving asbestos*' dated March 2008.

### **12.2 Ventilation System**

- 12.2.1 On completion of the installation of the ventilation system, a Compliance Certificate is to be submitted to Council certifying that the system has been installed and commissioned in accordance with the approved details.

### **12.3 Food Preparation Area**

- 12.3.1 The food preparation areas shall be constructed so as to comply with the requirements of;
- (a) The Food Act 2003 and Regulations there under.
  - (b) Australian Standard 4674 - 2004 Design, construction and fit-out of food premises.
  - (c) Australian Standard 1668.2 - 2012: The use of ventilation and air-conditioning in buildings - Mechanical ventilation in buildings

## **13 DURING CONSTRUCTION (ENGINEERING)**

### **13.1 Notification of Works**

- 13.1.1 A written notification of works must be submitted to Council's Engineering Approvals Team prior to the commencement of any engineering works required by this consent. This must be submitted a minimum 5 business days prior to commencement of engineering works.
- 13.1.2 A notification of works flyer (letter drop) is to be provided to all residential housing, businesses and organisations adjacent to any engineering works approved by this consent. This is for works undertaken on Council controlled lands such as roads, drainage reserves and parks. The notification of works flyer must contain details of the proposed works, locality map of works, contact details and the anticipated time period. A signed copy of the notice is to be provided to Council's Engineering Approvals Team and is to show the date of the letter drop as well as highlight the area that received the notification.

### **13.2 Insurances**

- 13.2.1 Current copies of relevant insurance Certificates of Currency are to be submitted to Council's Engineering Approvals Team. This shall be submitted prior to commencement of engineering works required by this consent that are carried out on Council controlled lands such as roads, drainage reserves and parks. This includes Public Liability Insurance with a minimum of \$20,000,000 Indemnity and Workers Compensation.

### 13.3 Service Authority Approvals

- 13.3.1 Prior to the commencement for construction of footway crossings and driveways a clearance shall be obtained from the relevant telecommunications carriers and Endeavour Energy. The clearance shall notify that all necessary ducts have been provided under the proposed crossing.

### 13.4 Boundary Levels

- 13.4.1 Any construction at the property boundary, including but not limited to fences, retaining walls and driveways shall not be carried out until boundary alignment levels have been fixed.

### 13.5 Earthworks and Compaction Requirements

- 13.5.1 Suitable land fill replacement is required when unsuitable soils are removed. All fill including existing fill shall be compacted in accordance with Council's Works Specification - Civil (current version). A compaction certificate shall be obtained from an appropriately qualified practising registered engineer (NER) verifying that the correct compaction requirements have been met. This compaction certificate is to be submitted to Council.
- 13.5.2 Special attention is drawn to the below listed requirements of Council's Works Specification - Civil (Current Version).
- (a) Submission of compaction certificates for fill within road reserves.
  - (b) Submission of compaction certificates for road sub-grade.
  - (c) Submission of compaction certificates for road pavement materials (sub-base and base courses).
  - (d) The submission of 2 contour lot fill diagrams and lot fill compaction certificates. A restriction as to User with Council's standard wording must be placed on filled lots.
  - (e) Compliance Certificates from road material suppliers (the relevant certified stockpile number shall be digitally shown from supplier)

Note: Council's Works Specification (Civil) requires road pavement and pipe bedding materials be sourced from approved suppliers. A listing of these materials and approved stockpile numbers can be found on Council's webpage.

The above documentation shall be submitted at the prior to Subdivision and/or Occupation certificate stage as required by this consent.

- 13.5.3 Site filling within lot boundaries (not in road reserves) and compaction is to be carried out under the supervision of a Chartered Geotechnical Engineer and shall be in accordance with Blacktown City Council's 'Works Specification - Civil (Current Version)'. Minimum standard compaction of 95% must be achieved and certified by a NATA registered soils lab and details submitted to Council.

- 13.5.4 Only clean fill shall be deposited/imported on site in accordance with Council's Works Specification - Civil (Current Version). Note: dry builder's waste i.e. bricks plaster and timber industrial waste or putrescible materials are not to be deposited on site. Validation of the imported fill material will be required by a suitably qualified registered engineer.
- 13.5.5 Appropriate dust control measures are to be implemented during construction to reduce any impact on local air quality and reduce dust emissions. This will include but not be limited to regularly wetting down of the site during the course of works being carried out in order to control windblown dust.
- 13.5.6 All roads adjoining the site must be kept clean and free of all materials. Infringement Notices incurring a monetary penalty may be issued by Council where this measure is not being complied with.
- 13.5.7 Trucks transporting cut and fill must have their loads covered and provisions of 'shaker pads' and wash-down areas for trucks leaving the site are to be made available. All details are to be shown on soil erosion and sediment control plans.
- 13.5.8 Prior to the placement of any fill on the site all topsoil and vegetation must be removed down to a suitable sub-grade material. The topsoil is to be stockpiled for use in revegetation of the site.
- 13.6 **Inspection of Engineering Works - Environmental Planning and Assessment Act 1979.**
- 13.6.1 Comprehensive inspection compliance certificate(s) to be issued for all engineering works required by this consent and the approved construction certificate. The inspection compliance certificate(s) can only be issued by Council or an accredited certifier, under *Part 4A of the Environmental Planning and Assessment Act 1979* as amended. A schedule of mandatory inspections is listed in Council's Works Specification – Civil (current version).

Where Council is appointed as the Principal Certifying Authority for the development, only compliance certificates issued by accredited certifiers will be accepted. All compliance certificate(s) must certify that the relevant work has been completed in accordance with the pertinent Notice of Determination / Development Consent and Construction Certificate.

13.7 **Inspection of Engineering Works - Roads Act 1993**

- 13.7.1 All inspection(s) required by this consent for any engineering works that are approved under the *Roads Act 1993* must be made by Council's Development Overseers.

Inspections must be pre-booked with a minimum 24 hours' notice. Council's Development Overseers may be contacted on 02 9839 6586 between 7 am – 8 am and 12.30 pm - 1.30 pm, Monday to Friday.

Note: A site inspection is required prior to commencement of work. A schedule of mandatory inspections is listed in Council's Works Specification – Civil (current version).



### 13.8 Public Safety

- 13.8.1 The applicant is advised that all works undertaken are to be maintained in a safe condition at all times. Council may at any time and without prior notification make safe any such works Council considers to be unsafe and recover all reasonable costs incurred from the applicant.

### 13.9 Site Security

- 13.9.1 Chain wire gates and security fencing must be provided around the site in order to prevent unauthorised access and dumping of rubbish.

### 13.10 Traffic Control

- 13.10.1 Any 'Traffic Control Plan' utilised for engineering works required by this consent must be prepared by a suitably qualified Roads and Maritime Services (RMS) accredited work site traffic designer for all works that are carried out in or adjacent to a public road. This Plan must satisfy all the requirements of AS 1742.3 - 2002.
- 13.10.2 Traffic control devices/facilities (i.e. barricades, signs, lights, etc) must be setup, installed, monitored and maintained in accordance with the certified Traffic Control Plan and by suitably qualified RMS accredited work site traffic controllers.
- 13.10.3 Persons undertaking the control of traffic through or around work sites on Council controlled roads must hold with them their RMS Traffic controllers accreditation.
- 13.10.4 The applicant is advised that prior to implementation of any traffic control system and during the entire course of construction suitably qualified RMS accredited work site traffic controllers will ensure a smooth transition with other nearby traffic control setups. The coordination, communication and cohesion between adjacent traffic control systems shall be addressed by the applicant and must satisfy all the requirements of AS 1742.3 - 2002.
- 13.10.5 Where the Traffic Control Plan may change during the course of construction to facilitate new works, a revised traffic control plan shall be prepared and certified by a suitably qualified RMS accredited worksite traffic control designer. This Plan must satisfy all the requirements of AS 1742.3 – 2002 and the current version of the RMS *Traffic Control at Work Sites* manual and shall be submitted to Council prior to implementation.
- ### 13.11 Requirement from Roads and Maritime Services
- 13.11.1 A Road Occupancy Licence should be obtained from Transport Management Centre for any works that may impact on traffic flows on Third Avenue during construction activities.

## **14 PRIOR TO OCCUPATION CERTIFICATE**

### **14.1 Road Damage**

- 14.1.1 The cost of repairing any damage caused to Council's assets in the vicinity of the land as a result of the development works shall be met in full by the applicant/developer.

Note: Should the cost of damage repair work not exceed the road maintenance bond Council will automatically call up the bond to recover its costs.  
Should the repair costs exceed the bond amount a separate invoice will be issued.

### **14.2 Compliance with Conditions**

- 14.2.1 An Occupation Certificate shall not be issued until such time as all conditions of this consent, other than 'Operational' conditions, have been satisfied. The use or occupation of the development prior to compliance with all conditions of consent, other than 'Operational' conditions, may render the applicant/developer liable to legal proceedings.
- 14.2.2 Prior to occupation/use of a new building, it is necessary to obtain an Occupation Certificate from the Principal Certifying Authority in accordance with the provisions of Section 109H of the Environmental Planning & Assessment Act 1979.

### **14.3 Fire Safety Certificate**

- 14.3.1 A final fire safety certificate complying with Clause 153 of the Environmental Planning and Assessment Regulation 2000 shall be issued prior to the use or change of use of the building, except in the case of any Class 1a and Class 10 building(s).

### **14.4 Fee Payment**

- 14.4.1 Any fee payable to Council as part of a Construction, Compliance or Occupation Certificate or inspection associated with the development (including the registration of privately issued certificates) shall be paid in full.

### **14.5 Service Authorities**

- 14.5.1 A final written clearance shall be obtained from Sydney Water Corporation, Integral Energy and Telstra (or any other recognised communication carrier) if such clearance (in the form of a Section 73 Certificate, Notification of Arrangement, etc) has not previously been issued.

14.5.2 The following documentary evidence shall accompany any Occupation Certificate:

- (a) A Section 73 Compliance Certificate under the Sydney Water Act 1994 must be obtained. Applications must be made through an authorised Water Servicing Coordinator. Please refer to the 'Building Plumbing and Developing' Section of the website [www.sydneywater.com.au](http://www.sydneywater.com.au), then follow the 'Developing Your Land' link or telephone 13 20 92 for assistance. Following application a 'Notice of Requirements' will advise of water and sewer extensions to be built and charges to be paid. Please make early contact with the Coordinator since building of water/sewer extensions can be time consuming and may impact on other services and building, driveway or landscape design. The Section 73 Certificate must be submitted to the Principal Certifying Authority prior to the occupation of the development.

#### 14.6 Temporary Facilities Removal

- 14.6.1 Any hoarding or similar barrier erected to protect a public place shall be removed from the land and/or public place.
- 14.6.2 Any temporary toilet facilities provided during construction works shall be appropriately dismantled, disconnected and removed from the land.
- 14.6.3 Any temporary soil erosion control measure installed during development works shall be removed and other permanent measures required by Council's Soil Erosion Control Policy shall be provided.
- 14.6.4 Any temporary builder's sign or other site information sign shall be removed from the land.
- 14.6.5 Any temporary site access provided for the purpose of development works shall be removed and the kerb and gutter and/or previous roadworks reinstated in a manner satisfactory to Council. Should the reinstatement involve the provision of a new vehicular crossing, layback, kerb and gutter or road shoulder works the separate approval of Council's Maintenance Section shall be obtained (and any appropriate fees paid) prior to such works commencing.

#### 14.7 Fee Payment

- 14.7.1 Any fee payable to Council as part of a Construction, Compliance or Occupation Certificate or inspection associated with the development (including the registration of privately issued certificates) shall be paid in full.

## 14.8 Engineering Matters

### 14.8.1 Surveys/Certificates/Works As Executed plans

- 14.8.1.1 A Work-as-Executed (WAE) plan signed by a Registered Engineer (NER) or a Registered Surveyor must be submitted to Council when the engineering works are completed. A hardcopy (A1 size) and softcopy (on a CD/USB with file format .PDF) of the WAE plans are to be submitted to Council. All engineering Work-as-Executed plans MUST be prepared on a copy of the original, stamped Construction Certificate plans for engineering works.
- 14.8.1.2 The Work-as-Executed (WAE) plan must confirm that the On Site Detention system identification plate has been installed in accordance with the Upper Parramatta River Catchment Trust Guidelines. The On Site Detention system identification plate can be purchased from Council.
- 14.8.1.3 A certificate from a Registered Engineer (NER) must be obtained and submitted to Council verifying that the On-Site Detention System as constructed will perform to meet the on-site stormwater detention requirements in accordance with the approved design plans.
- 14.8.1.4 A certificate from a Registered Engineer (NER) must be lodged with Council verifying that the structures associated with the On-Site Detention System(s) have been constructed to withstand all loads likely to be imposed on them during their lifetime.
- 14.8.1.5 A certificate from a Registered Engineer (NER) must be obtained and submitted to Council verifying that the constructed Stormwater Quality Control system will function effectively in accordance with Blacktown Council's DCP Part J – Water Sensitive Urban Design and Integrated Water Cycle Management.
- 14.8.1.6 Written evidence is to be obtained from the Roads and Maritime Services (RMS) indicating compliance with its requirements including the payment of any necessary works supervision fees.
- 14.8.1.7 The submission to Council of Compliance Certificate(s) and construction inspection reports required by this consent for engineering works. A final inspection report is to be included noting that all works are complete.

When Council has been nominated or defaulted as the nominee for engineering compliance. Final inspections can be arranged through Council's Coordinator of Engineering Approvals contactable on (02) 9839 6263. A final inspection checklist must be completed by the applicant prior to the final inspection.

### 14.8.2 Easements/Restrictions/Positive Covenants

- 14.8.2.1 Any easement(s) or restriction(s) required by this consent must nominate Blacktown City Council as the authority to release vary or modify the easement(s) or restriction(s). The form of easement or restriction created as a result of this consent must be in accordance with the following:
- (a) Blacktown City Council's standard recitals for Terms of Easements and Restrictions (Current Version).



- (b) The standard format for easements and restrictions as accepted by Land Registry Services.

14.8.2.2 Restrictions and positive covenants must be endorsed by Council and lodged with NSW Land Registry Services over the on-site detention storage areas and outlet works.

14.8.2.3 Restrictions and positive covenants must be endorsed by Council and lodged with NSW Land Registry Services over the Stormwater Quality Control devices/system and outlet works.

14.8.2.4 All Section 88B restrictions and covenants created, as part of this consent shall contain a provision that they cannot be extinguished or altered except with the consent of Blacktown City Council.

#### 14.8.3 **Bonds/Securities/Payments in Lieu of Works**

14.8.3.1 The payment to Blacktown City Council of a monetary contribution in lieu of works for the placement of the final layer of asphaltic concrete on the new road works. The amount will be calculated at Council's approved rate upon request and following issue of a Construction Certificate for the work.

14.8.3.2 A maintenance security of 5% of the value of the required engineering works must be lodged with Council prior to the practical completion of the works. Council will hold this security for a period of at least 12 months.

(a) In the case of subdivision - This period commences at the release of the final plan of subdivision. (Issue of Subdivision Certificate)

(b) In the case where no subdivision occurs - This period commences at the date of practical completion of the development.

This maintenance period may be extended in the following situations to allow for the completion of (i) necessary maintenance and or (ii) all outstanding minor works.

14.8.3.3 Where Council's has granted approval of providing security in lieu of outstanding works. A security, in the form of a bank guarantee or a cash deposit, shall be lodged with Council to cover outstanding works required by this consent. The security amount will be calculated at Council's approved rate upon request.

#### 14.8.4 **Inspections**

14.8.4.1 Any additional Council inspections beyond the scope of any Compliance Certificate package and needed to verify full compliance with the terms of this consent will be charged at the individual inspection rate nominated in Council's Fees and Charges Schedule.

#### 14.8.5 **CCTV Inspection of Stormwater Drainage Structures**

- 14.8.5.1 All road stormwater drainage structures (pipelines and pits) must be inspected via CCTV on completion of the provision of all public utility services in accordance with Council's current Works Specification Civil. CCTV reports must be submitted to council in the form of a DVD of the inspection, a hard copy printout of the SEWRAT (or equivalent) report and a certified CCTV statement in accordance with Section 6.8 of Council's Works Specification Civil indicating that any defects identified by this inspection have been rectified.

#### 14.9 **Other Drainage Section Requirements**

- 14.9.1 Maintenance schedule requirements are to be provided for each of the Stormwater Quality Improvement Devices including CDS unit and rainwater tank. Where these devices are located in roadway/parking areas these are to include traffic management requirements. The designer of the stormwater treatment system must prepare the Maintenance schedule and this schedule must show the designer's name, signature and date on it.
- 14.9.2 Written evidence is to be provided that the registered owner/lessee has entered into a minimum 5 year signed and endorsed maintenance contract with a reputable and experienced cleaning contractor(s) for the maintenance of CDS unit and rainwater tank. A copy of the signed and endorsed contract(s) and maintenance contractor(s) details are to be forwarded to Council's WSUD Compliance Officer.
- 14.9.3 A plumber licensed with NSW Fair Trading, or experienced hydraulic engineer is to certify that all the non-potable water uses for the commercial uses and childcare centre are being supplied by rainwater and that all the requirements of the detailed Non-Potable Water Re-use Plan have been installed and are working correctly. A signed, works-as-executed Non-Potable Water Re-use Plan is to be provided to Council.
- 14.9.4 Provide a maintenance plan for each of the pump systems to ensure effective ongoing operation of the pumps including replacement as required.
- 14.9.5 A plumber licensed with NSW Fair Trading is to certify that the buildings, or parts of buildings that are not affected by BASIX, comply with the minimum standards defined by the Water Efficiency Labelling and Standards (WELS) Scheme for any water use fittings. Minimum WELS ratings are:
- i. 4 star dual-flush toilets
  - ii. 3 star showerheads
  - iii. 4 star taps (for all taps other than bath outlets and garden taps)
  - iv. 3 star urinals
  - v. Water efficient washing machines and dishwashers have been used.

- 14.9.6 Where the Groundwater Assessment Report indicated the requirement for a Groundwater Management Plan, then a Geotechnical Engineer registered with NER, is to certify that all the requirements of the Groundwater Management Plan have been undertaken and that there is no adverse impact due to groundwater
- 14.10 **External Finishes**
- 14.10.1 The development approved by Council is to be constructed in accordance with the approved schedule of materials, finishes and colours. All landscaping, fencing, retaining walls and driveways are to be provided in accordance with the approved plans, and the details submitted and approved as part of the Construction Certificate.
- 14.11 **Letterboxes**
- 14.11.1 The letterboxes are to comply with the details submitted as part of the Construction Certificate and must comply with Australia Posts requirements for size. The letterbox system should be vandal resistant and secure.
- 14.11.2 The street number must be displayed prominently at the front of the building to comply with Local Government Act, 1973 Section 124, Order 8. The street number is to be visible at night.
- 14.12 **Power Boards**
- 14.12.1 All power boards must be housed within a cabinet to restrict tampering with the power supply. The lock set must be approved by the electricity authority.
- 14.13 **Landscaping**
- 14.13.1 All landscaping and common open space areas shall be completed in accordance with approved landscaping design plan. All turfed areas shall be finished level with adjoining surfaces and graded to approved points of drainage discharge.
- 14.13.2 All common open space areas and internal driveways shall be appropriately illuminated by the use of suitable outdoor lighting or the like to provide for the safety and convenience of occupants and other people resorting to the land at night. The loading dock area and car parking areas must also be provided with sufficient lighting to enhance the safety of users.
- 14.14 **Street Tree Planting**
- 14.14.1 Prior to the issue of the Final Occupation Certificate, all required street tree planting and payments of bonds are to be completed to Council's satisfaction.
- 14.15 **Car Parking**
- 14.15.1 Off-street commercial, resident and resident visitor car parking shall be encouraged by the installation of appropriate, permanent and prominent signs indicating its availability for residents and their visitors.

- 14.15.2 Entrance/exit points are to be clearly signposted and visible from the street and the site at all times.
- 14.15.3 Access and parking for people with disabilities shall be provided in accordance with Australian Standard 2890.6. - 2009
- 14.15.4 All required internal driveways and car parking spaces shall be line-marked, sealed with a hard standing, all-weather material to a standard suitable for the intended purpose.
- 14.15.5 The car parking allocation is to be incorporated into a Parking Management Strategy which will also include the following responsibilities for the Managing Agent/future Body Corporate:
- (a) Measures to ensure a clear segregation between the retail, commercial, serviced apartment, residential and non-residential parking spaces is maintained at all times.
- 14.15.6 A roller shutter and card-key system is to be installed at the segregation points between the commercial/visitor and residential parking areas, and at the entry/exit points of the basement car parks.
- 14.15.7 Bicycle racks are to be provided on site in accordance with the Apartment Design Guide (ADG).
- 14.15.8 The ceiling of each basement carpark is to be painted white to enhance lighting illumination.
- 14.15.9 On-site waste collection areas, loading areas and manoeuvrability paths are to be suitably line-marked and sign-posted to ensure areas are kept clear of obstructions that may prohibit their future use.
- 14.16 **Ancillary Work**
- 14.16.1 Each dwelling unit is to be provided with a mechanical drying appliance within the unit.
- 14.16.2 Mail boxes are to be provided on site in accordance with the requirements of Australia Post.
- 14.16.3 The awning must be constructed in accordance with those details submitted as part of the Construction Certificate. The height and width of the awning must comply with the requirements of Council's Maintenance Section.
- 14.16.4 Plumbing services are to be provided to the commercial tenancy to enable the installation of a potential kitchen.



## 14.17 **Waste Management**

### 14.17.1 A Strata Management Agreement shall:

- indicate requirement for the appointment of a building manager/caretaker to manage bins and bulky waste onsite in accordance with the approved waste management plan.
- indicate responsibility for maintenance of the waste system (including any bin movement aides) and bin cleaning, and ensure waste collection points are clear and unobstructed prior to collection times.
- indicate the method of communication to new tenants and residents regarding the waste management services and collection system for the complex.
- include a copy of the updated and approved waste management plan as lodged with the development application.

14.17.2 The development will be serviced by private waste and recycling contractors, residents are unable to access Council's household clean up service, or garbage and recycling service. These must be provided by the Owners Corporation and a Section 88B or similar is to be listed on the title to this effect.

14.17.3 The garbage and recycling storage area must have a smooth impervious floor that is graded to a floor waste. A tap and hose must be provided to facilitate regular cleaning of the bins and all waste water must be discharged to the sewer in accordance with the requirements of Sydney Water. Garbage bins must be designed to prevent the escape of any liquid leachate and must be fitted with a lid to prevent the entry of vermin.

14.17.4 Appropriate provisions are to be made for the storage and collection of waste. A separate caged bulky waste storage area, separate resident and commercial waste rooms and waste chutes are to be provided in accordance with the approved plans. On-site waste collection areas, the loading bay and manoeuvrability paths are also to be suitably line-marked and sign-posted to ensure areas are kept clear of obstructions that may prohibit their future use. Parking barriers/locks are to be provided in the loading bay to prevent unauthorised parking in this area.

## 14.18 **Requirements from Road and Maritime Services**

14.18.1 All vehicles are to be wholly contained on site before being required to stop.

14.18.2 Parking for building maintenance and removalists is to be provided on site.

## 14.19 **Other Matters**

14.19.1 All commitments listed in BASIX Certificate 751885M dated 31 August 2016 shall be complied with prior to the issue of an Occupation Certificate for the development.

- 14.19.2 All fencing, landscaping, clotheslines, hot water systems, TV antennae, mailboxes, driveways and the common open space area are to be completed in accordance with the approved plans and conditions of this consent to Council's satisfaction prior to the release of the Occupation Certificate for each stage.
- 14.19.3 A post-construction dilapidation report shall be carried out for any of the potentially affected existing buildings surrounding the proposed development. A copy of the report shall be submitted to Council prior to issue of Occupation Certificate for each stage.
- 14.20 **State Environmental Planning Policy No. 65 – Design Quality of Residential Flat Development**
- 14.20.1 No occupation certification must be issued unless all design verifications have been provided in accordance with Clause 154A of the Environmental Planning and Assessment Regulation 2000, a certifying authority must not issue a construction certificate for residential flat development unless the certifying authority has received a design verification from a qualified designer, being a statement in which the qualified designer verifies that the plans and specifications achieve or improve the design quality of the development for which development consent was granted, having regard to the design quality principles set out in Part 2 of State Environmental Planning Policy No 65— Design Quality of Residential Flat Development.
- 14.21 **Graffiti Management Plan**
- 14.21.1 A 'Graffiti Management Plan' is to be submitted for the separate approval of Council's Manager Development Services. The plan is to address the following issues:
- (a) Methods to minimise the potential for graffiti
  - (b) Management/notification procedures for the 'early' removal of graffiti
  - (c) Annual review of any 'management agreement' for the removal of graffiti to ensure the property is maintained at its optimum level
  - (d) Maintenance of suitable landscaping to minimise the potential for graffiti attacks.
- 14.21.2 The Owners Corporation is to manage the graffiti management plan. The recommendations of the plan are to be integrated into a Strata Management Agreement/by-laws.
- 14.22 **Acoustic Verification**
- 14.22.1 Certification must be provided by a qualified acoustic engineer that all work associated with the installation of the acoustic measures and noise attenuation has been completed in accordance with the certified design and to the standard required by this consent.

14.22.2 A Noise Management Plan is to be implemented for the Child Care Centre and is to be monitored and enforced by the Director of the Child Care Centre. The Management Plan is to include provisions that:

- i. Demonstrates how the chosen noise criteria for the Child Care Centre will be adhered to.
- ii. Ensure children are supervised at all times to minimise noise generated by children.
- iii. Install a contact phone number at the front of the centre so that any complaints regarding Centre operation can be made.
- iv. Initiate a complaints handling procedure.

#### **14.23 Food Premises**

14.23.1 A health inspection is to be conducted by Council's Environmental Health Officer to ensure that the kitchen fit out complies with the requirements of the Food Act 2003 and Australian Standard 4674 - 2004 Design, construction and fit-out of food premises.

14.23.2 The premises is to be registered with Council as a food business.

#### **14.24 Childcare Operation**

14.24.1 A Licence, to operate a Child Care Centre for a maximum of 155 children is required from the Department of Family and Community Services prior to the Child Care Centre becoming operational.

14.24.2 A Operational Plan of Management is to be implemented for the Child Care Centre and is to be monitored and enforced by the Director of the Child Care Centre. The Management Plan is to include provisions that:

- (a) Ensure children are supervised at all times to minimise noise generated by children.
- (b) Install a contact phone number at the front of the centre so that any complaints regarding centre operation can be made.
- (c) Initiate a complaints handling procedure.
- (d) Use of the carpark must be used by staff, visitors, parents at all times to minimise disruption to adjoining property owners/occupants.
- (e) Compliance with the recommendations of the acoustic report.
- (f) Provision of a graffiti management plan.
- (g) Ensure staff, parents and visitors use the basement carpark.
- (h) Maintenance of the fence and landscaping facing the streets.

- 14.25      **Lighting**
- 14.25.1      All lighting is to comply with relevant Australian Standards, including Australian Standard 4282 to ensure no spillage of light affecting the amenity of adjoining residential properties.
- 14.26      **Privacy Screening**
- 14.26.1      All privacy screening measures / devices detailed on the approved plans are to be installed prior to the issue of any Occupation Certificate for each stage.
- 14.27      **Security**
- 14.27.1      Should any basement storage areas be provided, they are to have quality doors/cages and lock sets to restrict unauthorised access. These are recommended to be constructed of an appropriately robust steel welded mesh to be used in lieu of chain link wire. Consider the use of 'over the bonnet' metal fully enclosed and lockable storage containers.
- 14.27.2      The car parking allocation is to be incorporated into a Parking Management Strategy which will also include the following responsibilities for the Managing Agent/future Body Corporate:
- (a) Measures to ensure a clear segregation between the commercial/retail, childcare centre and residential parking spaces is maintained at all times.
  - (b) Directional signage for the different uses' parking areas shall be installed at entry to the basement parking.
- 14.28      **NSW Local Police Matters**
- 14.28.1      Consideration to be given to the installation of CCTV surveillance cameras for the development, paying particular attention to those areas susceptible to anti-social behaviour and criminal activity. This includes the proposed communal open space areas, any common areas, access ramp, carpark and roof top areas. CCTV coverage should capture all of the proposed area. The exterior coverage should capture all entrances and exits and the immediate vicinity of the building.
- 14.28.2      Closed Circuit Television Systems (CCTV), Management and Operation; should be installed accordance to AS 48006.1 and Applications Guidelines — AS 4806.2. By ensuring clear sightlines, the opportunity to commit a crime is decreased.
- 14.28.3      The CCTV exterior coverage should capture all entrances and exits and the immediate vicinity of the building.



- 14.28.4 A lighting maintenance policy needs to be established for the development. Lighting should be vandal resistant and placed around the perimeter of the property, at all entry/exits points, on footpaths leading to the unit block and also throughout the proposed common areas, particularly the communal open spaces, and driveway. Possible entrapment spots such as the storage units, waste/rubbish bin areas should be lit with vandal- resistant and energy saving lighting.
- 14.28.5 Lighting used in the carpark areas should illuminate continuously in hours of darkness. Pink/ blue lighting along driveway ramp deter person(s)/ youth loitering around area.
- 14.28.6 Access to the carpark and units should be via a swipe/card/ key system.
- 14.28.7 Landscaping and Vegetation:
- Landscaping and vegetation enhance the natural amenity of any site. It is important to ensure dense foliage and inappropriate planting does not lead to opportunities for concealment.
- The recommended plants suggested in the application should be low lying shrubs and or grass like plants that are free from stones and or rocks at the soil base (eliminating stones used for projectiles). These low lying shrubs and or grass like plants should be planted to avoid clumping and to retain sightlines and opportunities for surveillance around the communal areas. The plants proposed should have an appearance of impenetrability and qualities that minimises concealment opportunities.
- 14.28.8 That a key holder be identified with relevant contact details provided to aid emergency services to gain entry if there are any related issues preventing them from getting immediate access.
- 14.28.9 Erect appropriate signage. i.e. 'Trespassers will be prosecuted, surveillance systems operating and security personal on duty' etc.
- 14.28.10 Warning signs - in carpark. Signs should be clear and concise displaying the area of which cars should be parked.
- 14.28.11 Warning signs- in carpark. Signs to be clear and prominent warning people not to leave valuables in their cars. e.g. 'Lock it or lose it' or 'Do not leave valuables in your vehicle'.
- 12.20.12 Increased means of security for letter boxes to deter incidents of mail theft and identification fraud. CCTV shall be installed in the proposed foyer/ mail room.
- 12.20.13 The basement carpark should be designed to permit maximum natural surveillance, access control and illumination. E.g. by using cable railings in place of concrete retaining walls.
- 12.20.14 That a key holder be identified with relevant contact details provided to aid emergency services to gain entry if there are any related issues preventing them from getting immediate access.

14.28.12 Details of the Body Corporate are to be forwarded to NSW Local Police, Blacktown Local Area Command.

14.28.13 A copy of Evacuation Plan for the development is to be forwarded to the NSW Local Police, Blacktown Local Area Command.

## 15 **OPERATIONAL (PLANNING)**

### 15.1 **Graffiti Removal**

15.1.1 Removal of any graffiti, visible from any public road or space, is the responsibility of the property owner/s. All graffiti must be removed within 48 hours.

### 15.2 **Access/Parking**

15.2.1 All required off-street car parking spaces and internal roads shall be maintained to a standard suitable for the intended purpose.

15.2.2 All loading and unloading operations shall take place at all times wholly within the confines of the land. All vehicles must enter and exit the site in a forward direction at all times.

15.2.3 Access and parking for people with disabilities shall be maintained in accordance with provisions of Australian Standards 1428.1 and 2890.1.

### 15.3 **General**

15.3.1 No goods, materials, or trade waste shall be stored at any time outside the building other than in approved garbage receptacles.

15.3.2 Spillage of light, if any, shall be controlled so as not to cause nuisance to the amenity of adjoining land.

15.3.3 If artificial lighting is proposed full details are to be submitted indicating the manner in which adjoining properties are to be protected.

15.3.4 Should an intruder alarm be installed on the land it shall be fitted with a timing device in accordance with the requirements of the Protection of the Environment Operations Act 1997.

15.3.5 Emission of sound from the land shall be controlled at all times so as to not unreasonably impact upon nearby owners/occupants.

15.3.6 The hours of operation of the development shall not be outside of the following nominated times.

Any alteration to these hours will require the separate approval of Council.

Approved hours of operation: Monday to Friday: 6:30 am to 6:30 pm

- 15.3.7 The centre must implement the Operational Management Plan at all times.
- 15.3.8 The centre at all times must implement the Graffiti Management Plan as required.
- 15.4 **Landscaping**
- 15.4.1 All landscaped areas provided in accordance with the approved landscaping design plan shall be maintained at all times in a suitable manner.
- 15.4.2 Sightlines must be kept free from obstructions. If a lack of natural surveillance occurs this would quickly encourage anti-social behaviour and criminal offences specifically malicious damage to the area. The 'fear of crime' would also no doubt increase if there is sign of malicious damage, rubbish, broken bottles etc around the development. Regular maintenance and up-keep of the site must therefore be adhered to.
- 15.4.3 The management of vegetation, gardens, planter boxes, communal areas, BBQ facilities, children's play equipment, etc is to be incorporated within the future strata management plan once the development is occupied.
- 15.5 **Use of Premises**
- 15.5.1 The use of the approved development shall, at all times, be conducted in a manner consistent with the terms and conditions of this consent.
- 15.5.2 This consent does not authorise the use of the land for Child Care purposes unless the operator and all employees are in possession of current licences from the NSW Department of Family and Community Services.
- 15.6 **Waste Management**
- 15.6.1 Waste and recycling collection vehicles entering and exiting the property must do so in a forward direction.
- 15.7 **Emergency Procedures**
- 15.7.1 Instructions concerning procedures to be adopted in the event of an emergency shall be clearly displayed throughout the development for both public and staff information at all times to the satisfaction of Council.
- 15.8 **Other Matters**
- 15.8.1 Approval is given only for the care of a maximum of 155 places (32 children aged 0 – 2 years; 36 children aged 2 – 3 years; and 87 children aged 3 – 5 years).
- 15.8.2 Separate Council approval is required for signage and/or any changes to the age group of children. Any proposal for an increase in children numbers may require additional car parking to be provided on site.

- 15.8.3 The use of the premises is to comply at all times with the requirements of the Department of Family and Community Services, and the National Quality Framework and Standards.
- 15.8.4 All staff members are to park on the premises at all times utilising the designated staff car parking spaces. At no times are staff to park on the street or in the designated on site visitor car parking spaces. Parents dropping off/picking up children are to be directed to park on the premises rather than on the street, through the Plan of Management.
- 15.8.5 The air conditioning units are to be placed in a position that is inaccessible to children and do not impact on any Industrial property adjoining the child care centre.
- 15.9 **Clothes Drying**
- 15.9.1 Clothes drying is to be conducted in the mechanical dryers. The drying of clothes on balconies (where visible from a public place) is prohibited. If the development is to be strata subdivided, a clause is to be included in the Plan of Strata Management prohibiting the drying of clothes on balconies (where visible from a public place).
- 15.10 **Lighting and Security**
- 15.10.1 Spillage of light, if any, shall be controlled so as not to cause nuisance to the amenity of adjoining land.
- 15.10.2 All intruder alarms shall be fitted with a timing device in accordance with the requirements of the Protection of the Environment Operations Act 1997.
- 15.10.3 The maintenance of all external lighting is to be managed by way of an annual service agreement to ensure the security of the building and persons within are not compromised from dark or uncontrolled public areas.
- 15.10.4 Sightlines must be kept free from obstructions. If a lack of natural surveillance occurs this would quickly encourage anti-social behaviour and criminal offences specifically malicious damage to the area. The 'fear of crime' would also no doubt increase if there is sign of malicious damage, rubbish, broken bottles etc around the development. Regular maintenance and up-keep of the site must therefore be adhered to.
- 15.11 **Awnings**
- 15.11.1 The integrity of the awning must be checked by a NPER engineer engaged by the body corporate every 5 years to ensure compliance in line with the BCA and other relevant standards. A certificate of compliance is to be forwarded to Council's Civil and Park Maintenance Section for its records every 5 years.
- 15.11.2 No hanging is permitted under the awning which may affect the minimum clearance height of 2.4 m.
- 15.11.3 The property owner is responsible for the maintenance of the awnings at all times.



## 16 OPERATIONAL (ENVIRONMENTAL HEALTH)

### 16.1 Environmental Management

- 16.1.1 Any activity carried out in accordance with this approval shall not give rise to air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997.
- 16.1.2 All waste generated on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997.
- 16.1.3 In accordance with the requirements of Part 5.7 Protection of the Environment Operations Act 1997, Council is to be informed of any pollution incident that occurs in the course of carrying out the approved activity where material harm to the environment is caused or threatened.
- 16.1.4 Upon receipt of a justified complaint in relation to noise pollution emanating from the premises, an acoustical assessment is to be carried out in accordance with the requirements of the Department of Environment and Conservation's Environmental Noise Management - NSW Industrial Noise Policy and provide recommendations to mitigate the emission of offensive noise from the premises. The report shall be prepared by an appropriately qualified acoustic consultant that is a member of the Association of Australian Acoustic Consultants and shall be submitted to Council for consideration.
- 16.1.5 A post commissioning report produced by an independent organisation that is eligible for membership with the *Association of Australian Acoustic Consultants* within 3 – 6 months of the centre operating to validate the Acoustic reports findings.
- 16.1.6 In accordance with the requirements of Part 5.7 Protection of the Environment Operations Act 1997, Council is to be informed of any pollution incident that occurs in the course of carrying out the approved activity where material harm to the environment is caused or threatened.
- 16.1.7 The food premises shall be maintained in accordance with the requirements of;
- Food Act 2003 and Regulations there under.
  - Australian Standard 4674 - 2004 *Design, construction and fit-out of food premises*.
- 16.1.8 The proprietor is to ensure that all food handling complies with the requirements of the Food Act 2003 and Regulations there under.
- Windows are to remain fully closed while indoor structured activities take place.

- To minimise the noise impact of the development on the surrounding environment, the collection and delivery of goods and materials (including garbage and recycling waste) from and to the premises shall not take place between the hours of 10 pm and 7 am.
- All waste and recycling bins must be stored wholly within the approved waste storage area. The bins must only be put out for collection in the evening prior to pick-up and returned to the storage area as soon as possible after pick-up.